



# COMHAIRLE NAN EILEAN SIAR

The Town and Country Planning Scotland Act 1997 – Section 36(1)

Town and Country Planning General Development Procedure Order 2013 Regulation 16

Planning Register - Part 1

## Application Details

Reference Number	24/00168/PPD
Date registered as valid	03/05/2024.
Description of Development	Erect dwelling. Create access. Install air source heat pump and solar thermal panels.

Address or description of location to which the development relates	8 Melbost, Borge, Isle of Lewis E 141470 N 957721
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Applicant Name	Mr Duncan Maclean
Applicant Address	8B Melbost, Borge, Isle of Lewis.
Agent name (if applicable)	Innes Smith Architecture
Agent address (if applicable)	141 Newmarket, Isle of Lewis

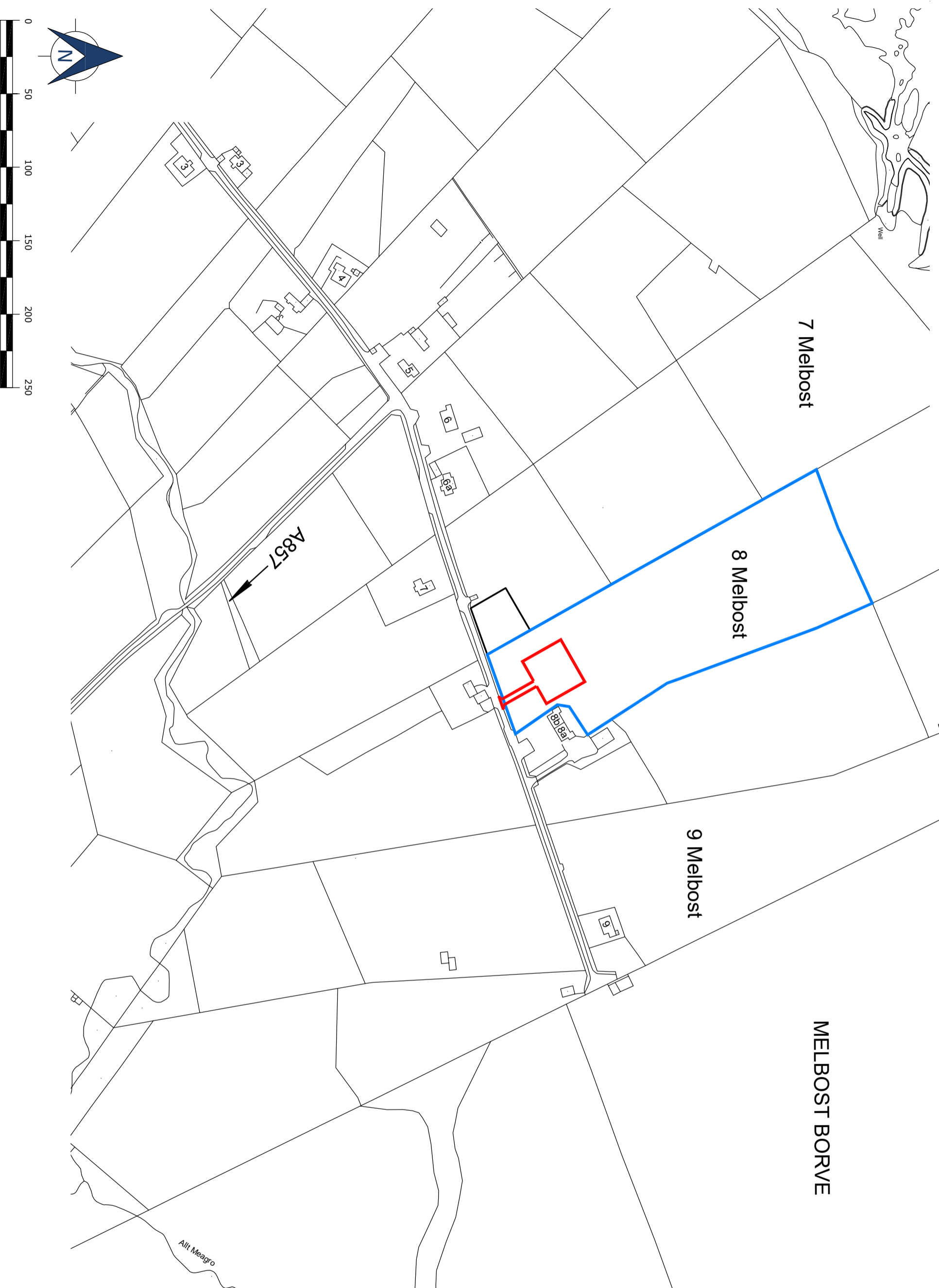
The above application summary is accompanied by plans and drawings sufficient to describe the development and where relevant any design statement.

Important Note: on Tuesday 07 November 2023, Comhairle nan Eilean Siar experienced a criminal cyber incident and is working with Police Scotland, the Scottish Government and the National Cyber Security Centre to investigate the matter.



The Online Planning Portal remains unavailable as does our suite of integrated software and hardware systems. In order to enable access by the wider public to application documents and consult upon planning applications, interim systems have been put in place on the temporary website of Comhairle nan Eilean Siar, including a rudimentary facility to display a limited number of documents per application.

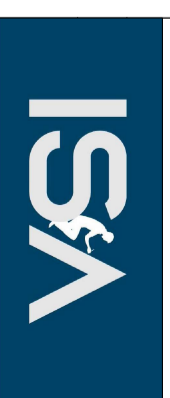
Any party wishing to view the application file in full may do so at the offices of Comhairle nan Eilean Siar at Sandwick Road, Stornoway Isle of Lewis, HS1 2BW or Balivanich, Isle of Benbecula. HS7 5LA, ordinarily between 9am and 5pm Monday to Friday (excluding public and local holidays). It is recommended that in advance of visiting an office to view an application that you make an appointment by sending an email to [planning@cne-siar.gov.uk](mailto:planning@cne-siar.gov.uk)

# 8 MELBOST BORVE, ISLE OF LEWIS EXISTING :: LOCATION PLAN



REV.	DESCRIPTION	DATE

LEGEND	
	Site Boundary
	Land Owned By Applicant



**INNES SMITH  
ARCHITECTURE**

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Stornoway,  
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078577641277  
Email: innes@innesarchitectur@gmail.com

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**PROJECT:** 8 Melbost Borve,  
Borve  
Isle of Lewis  
HS2 ORR

**CLIENT:** Duncan & Annette Maclean

**DESCRIPTION:**  
**EXISTING:**

**LOCATION PLAN**

**STATUS:** PLANNING APPLICATION

**SCALE:** 1:2500 @A3

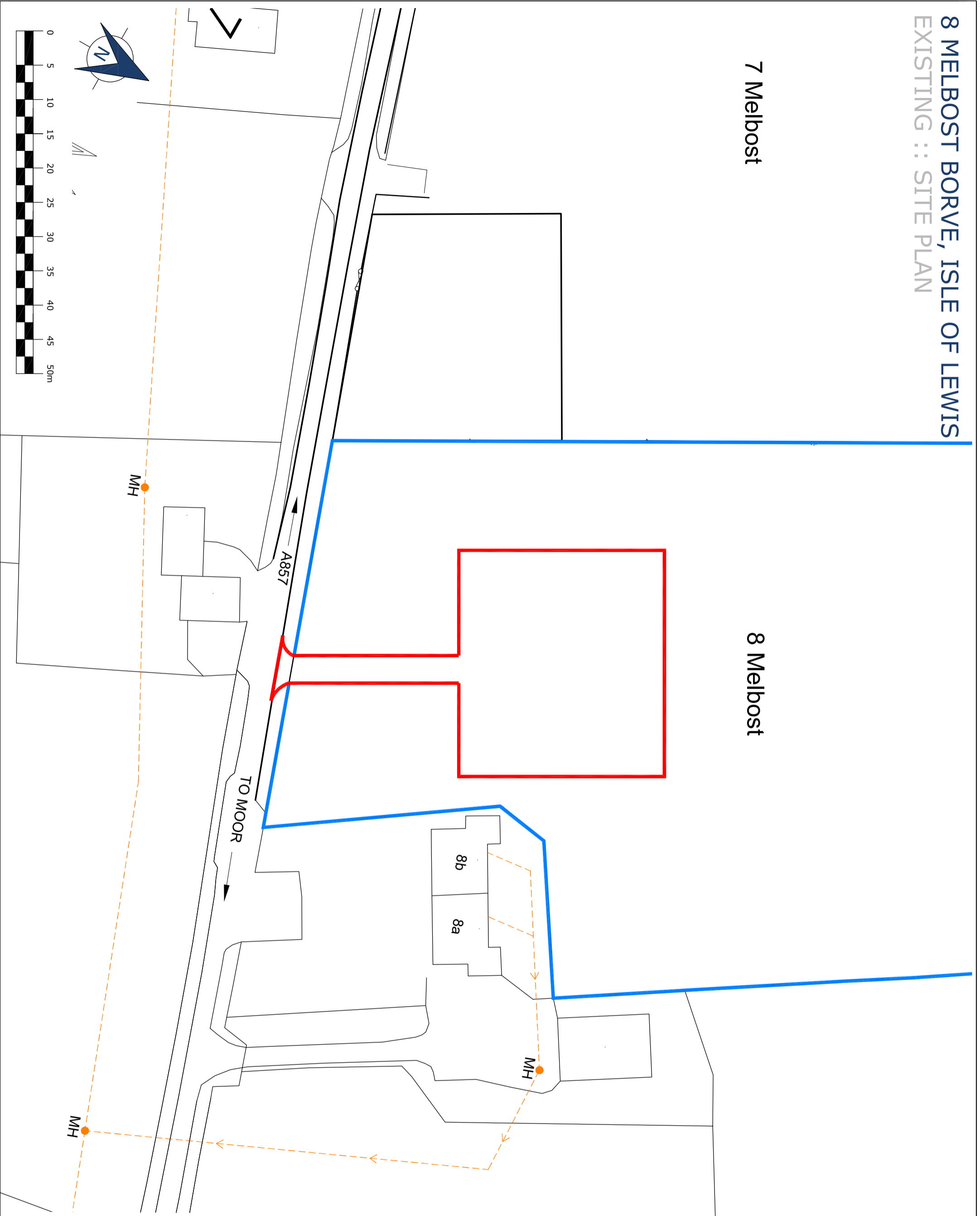
DATE:	28/03/2024
DRAWN:	IS
CHECKED:	IS

**DRAWING NO.:** 24/005/001

# 8 MELBOST BORVE, ISLE OF LEWIS EXISTING :: SITE PLAN

7 Melbost

8 Melbost



REV.	DESCRIPTION	DATE

LEGEND	
	Site Boundary
	Land Owned By Applicant
	Existing Foul Drainage
	Existing Manhole

**ISNA**

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**PROJECT:** 8 Melbost Borve, Isle of Lewis HS2 ORR

**CLIENT:** Duncan & Annette Maclean

**DESCRIPTION:** EXISTING: SITE PLAN

**STATUS:** PLANNING APPLICATION

**SCALE:** 1:500 @A3

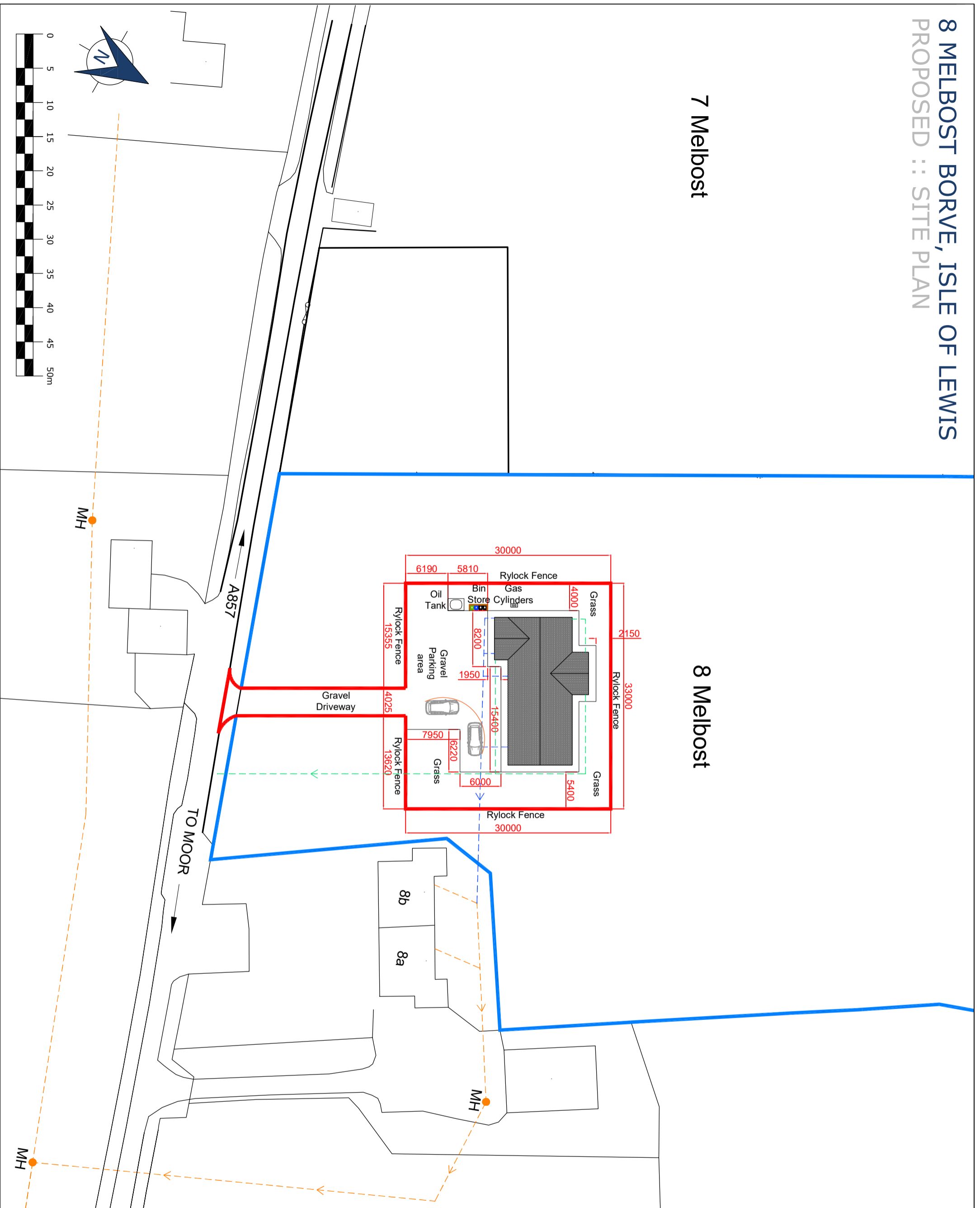
**DRAWING NO.:** 24/005/002

DATE:	28/03/2024
DRAWN:	IS
CHECKED:	IS

# 8 MELBOST BORVE, ISLE OF LEWIS PROPOSED :: SITE PLAN

7 Melbost

8 Melbost



REV.	DESCRIPTION	DATE

LEGEND	
	Site Boundary
	Land Owned By Applicant
	Existing Drainage
	Proposed Foul Drainage
	Proposed Surface Water Drainage
	Existing Manhole

**NOTES**

Proposed drainage runs are indicative, final drainage to be confirmed by structural engineer prior to installation.

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**PROJECT:** 8 Melbost Borge, Isle of Lewis HS2 ORR

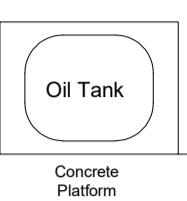
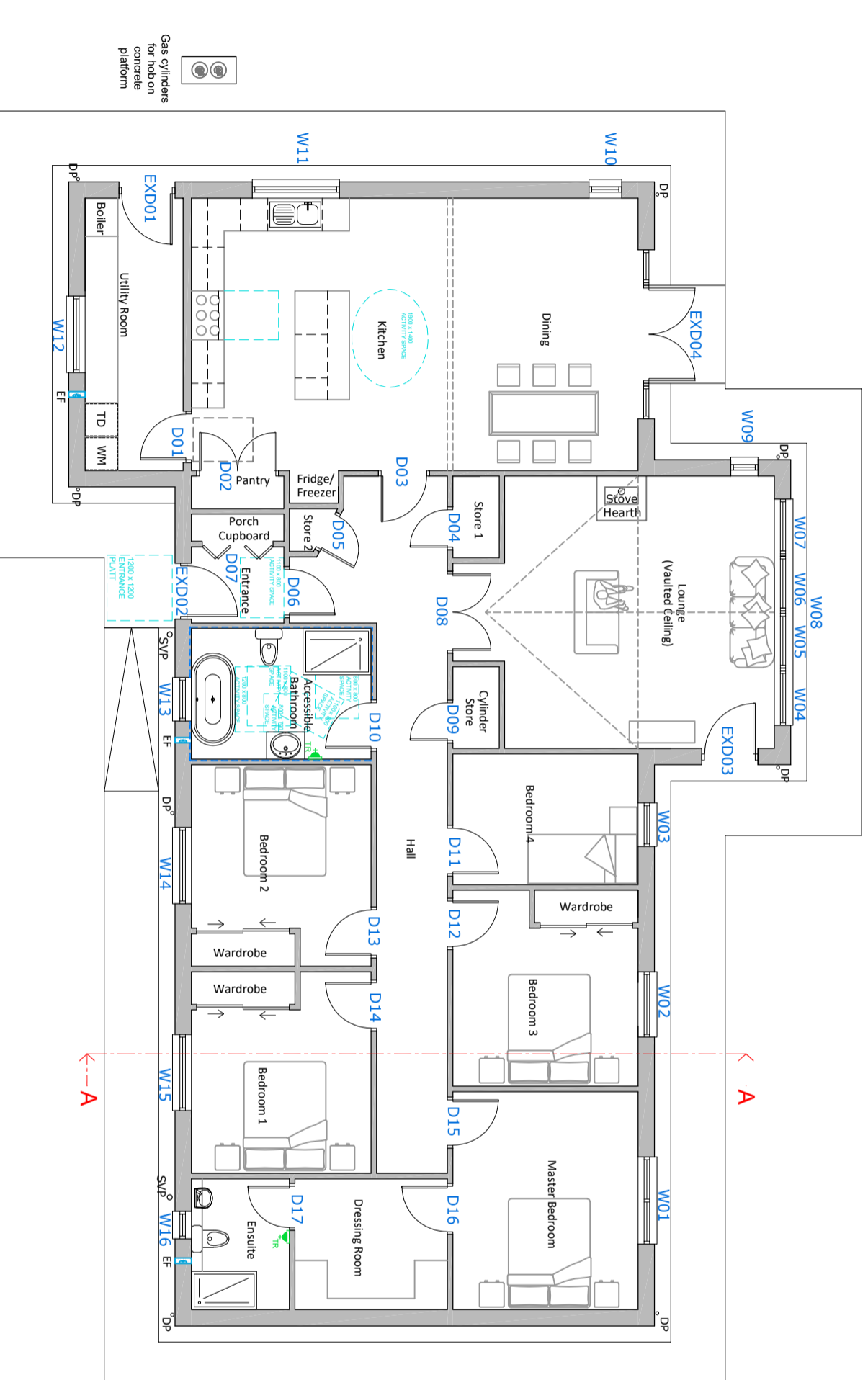
**CLIENT:** Duncan & Annette Maclean

**DESCRIPTION:** PROPOSED: SITE PLAN

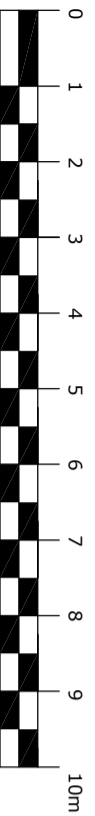
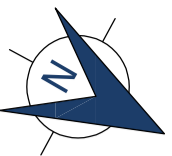
**STATUS:** PLANNING APPLICATION

SCALE:	DATE:	28/03/2024
1:500 @A3	DRAWN:	IS
	CHECKED:	IS
DRAWING NO.	24/005/003	

# 8 MELBOST BORVE, ISLE OF LEWIS PROPOSED :: FLOOR PLAN



Gas cylinders for hob on concrete platform



- Notes**
- Robust Walls
  - Robust Wall make up (Accessible bathroom):  
12.5mm Plasterboard  
19mm Plywood  
75x38mm stud partition  
12.5mm Plasterboard
  - Accessible Entrance:  
Platform to be minimum 1.2x1.2m with a cross-fall of not more than 1:50 to prevent standing water. Door to have accessible threshold with Automatic lighting either above or adjacent to door. Door to have clear opening width of 800mm minimum.

**AREAS**

HOUSE: APPROX. GF finished floor area = 189.53m<sup>2</sup>

\* drawing areas indicative and rounded up

**INNES SMITH ARCHITECTURE**

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**LEGEND**

TD	TUMBLE DRYER
WM	WASHING MACHINE
SVP	SOIL VENT PIPE
DP	DOWNPIPE
EF	EXTRACT FAN

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**PROJECT:** 8 Melbost Borve, Isle of Lewis HS2 ORR

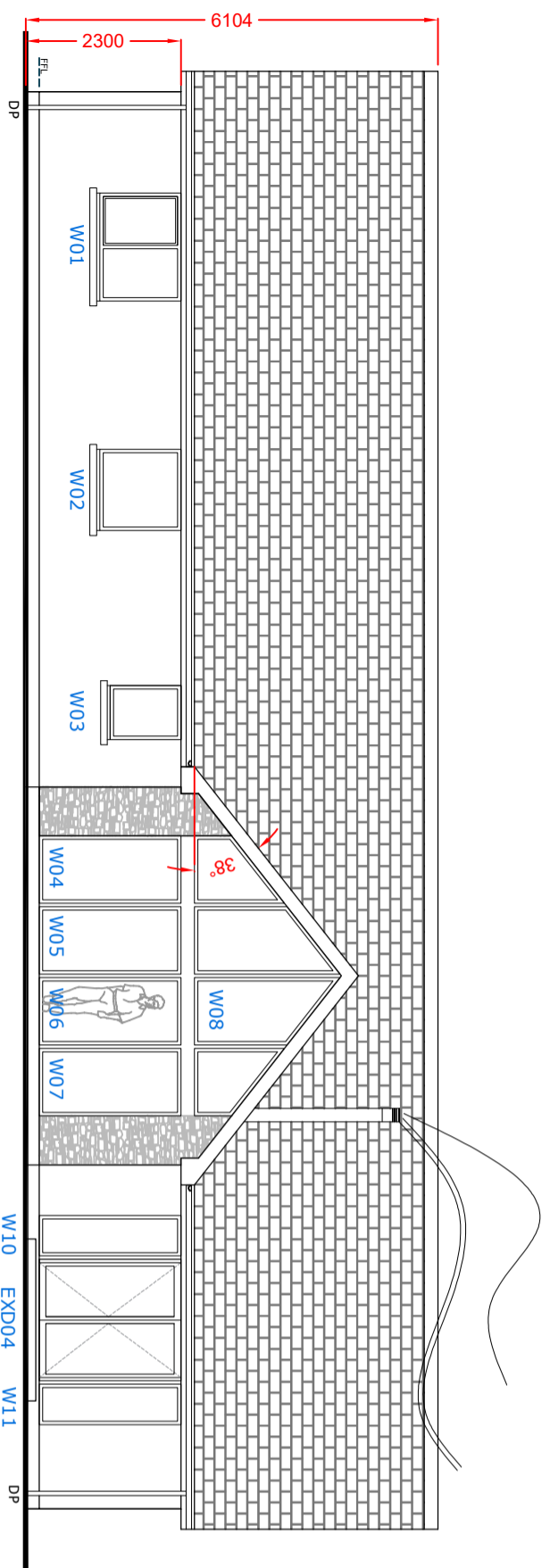
**CLIENT:** Duncan & Annette Maclean

**DESCRIPTION:** PROPOSED:  
FLOOR PLAN

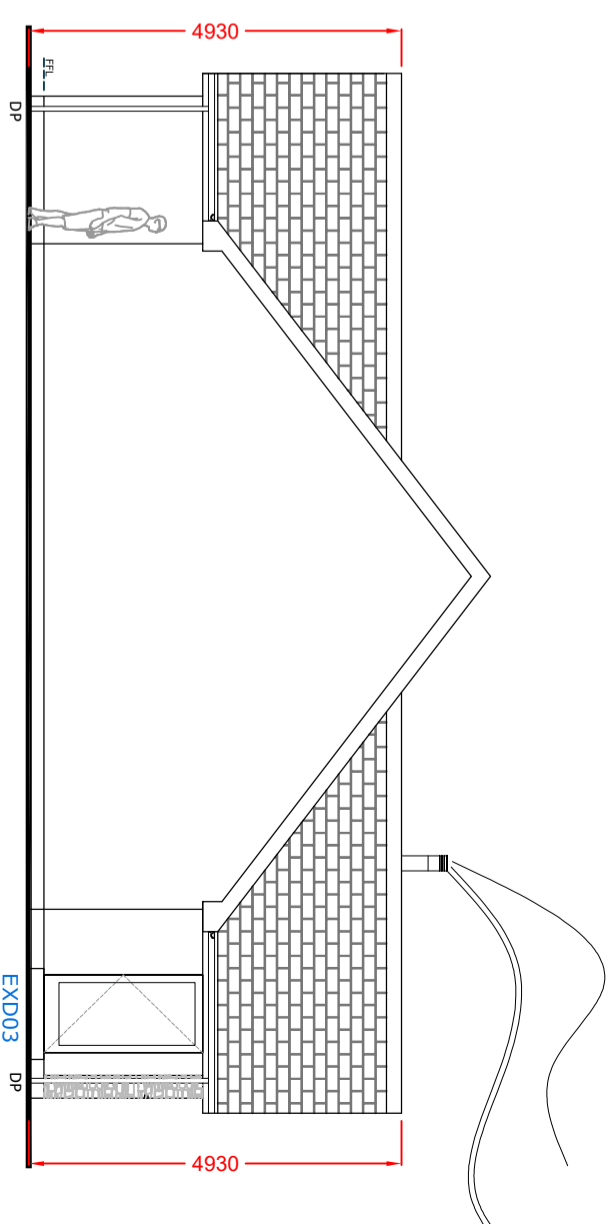
**STATUS:** PLANNING APPLICATION

SCALE:	DATE:	28/03/2024
1:100 @A3	DRAWN:	IS
DRAWING NO:	CHECKED:	IS
24/005/004		

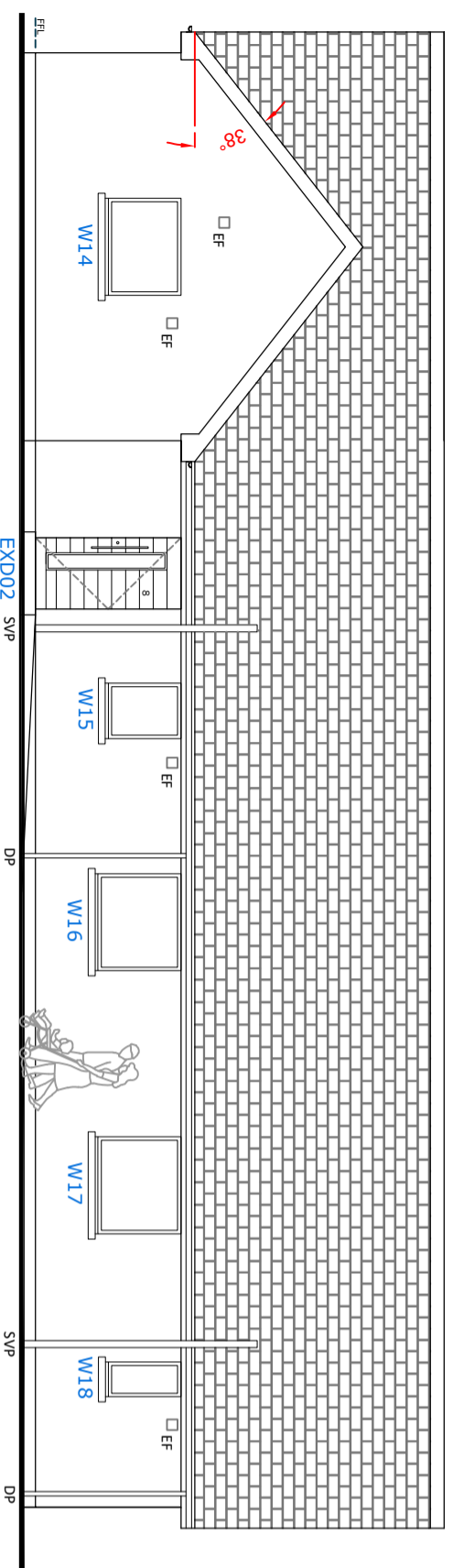
# 8 MELBOST BORVE, ISLE OF LEWIS PROPOSED :: ELEVATIONS



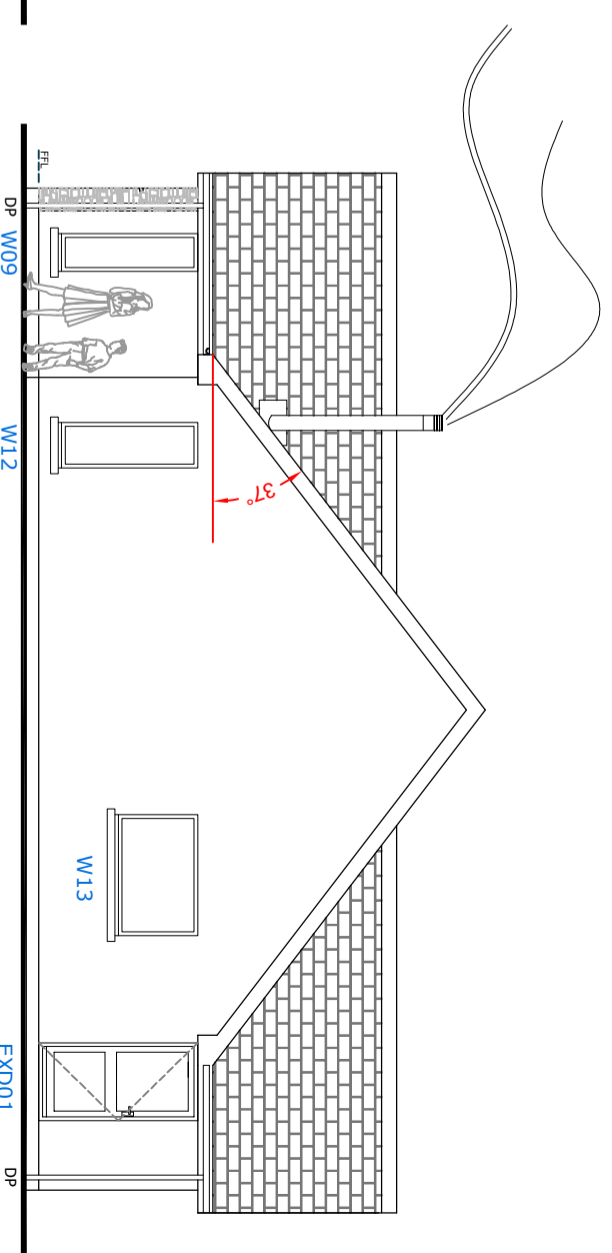
NORTH - WEST ELEVATION



SOUTH - WEST ELEVATION



SOUTH - EAST ELEVATION



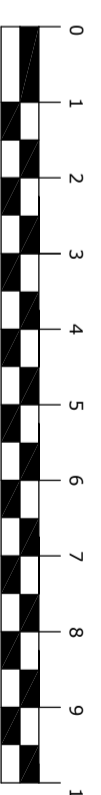
NORTH - EAST ELEVATION

REV.	DESCRIPTION	DATE

**LEGEND**

SVP =	SOIL VENT PIPE
DP =	DOWNPIPE
EF =	EXTRACT FAN
F.F.L. =	FINISHED FLOOR LEVEL

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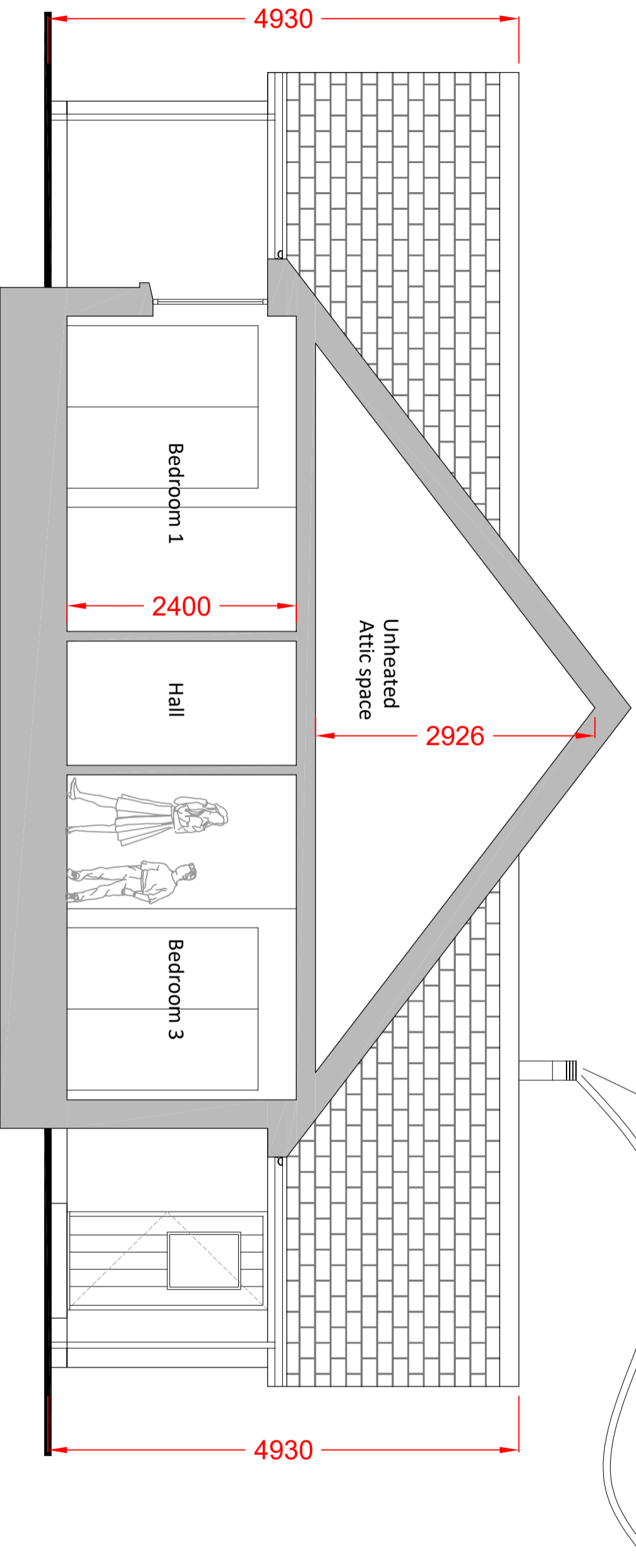
**PROJECT:**  
 8 Melbost Borve, Borve Isle of Lewis HS2 0RR  
**CLIENT:**  
 Duncan & Annette Madean

**DESCRIPTION:**  
 PROPOSED:  
 ELEVATIONS

**STATUS: PLANNING APPLICATION**  
 SCALE: 1:100 @A3  
 DATE: 28/03/2024  
 DRAWING NO: 24/005/05  
 DRAWN: IS  
 CHECKED: IS



# 8 MELBOST BORVE, ISLE OF LEWIS PROPOSED :: SECTION



### External Wall Construction:

- 20mm External Render.
- 100mm Dense Concrete Block.
- 50mm Cavity.
- Protect TF200 Thermo Insulating Breathable Membrane.
- 9mm OSB 3 Sheathing - BBA Approved.
- 145mm x 45mm timber studs.
- 100mm Kooltherm K112 insulation (0.019W/m<sup>2</sup>k) or equal equivalent between timber studs.
- Protect Vapour Control Foil laid and taped across face of studs.
- 35mm service void.
- 15mm Plain T/E Plasterboard

Approx U-value = 0.16(W/m<sup>2</sup>k)

### Internal Stud Construction:

- 15mm Plain T/E Plasterboard
- 75mm Timber Stud with roll insulation between studs
- 15mm Plain T/E Plasterboard

### Floor Construction:

- Floor Finish
- 22mm Chipboard
- Polythene Vapour Control Layer
- 150mm Kooltherm K103 insulation (0.019W/m<sup>2</sup>k) or equivalent between joists @600mm centres (joist sizes to be confirmed by structural engineer)
- Minimum 150mm Air gap
- 50mm Concrete
- 1000 gauge V/squeen DPM.
- Minimum 150mm blinded hardcore.

Approx U-value = 0.15(W/m<sup>2</sup>k)

### Suspended Timber Floor:

The solem is brought to an even surface, any up filling to be of hard, inert material. Hardcore bed as for clause 3.4.2, with either a dpm in accordance with section 3 of CP 1973, or concrete 50 mm thick laid on 0.25 mm (1000 gauge) polyethylene sheet, or concrete 100 mm thick, so that in any case the top surface is not below that of the adjacent ground.

### Roof Construction:

- Slates/Tiles fixed to timber battens, to manufacturers specification.
- Breathable roof membrane laid over sarking boardng.
- 22mm Sarking boardng laid across roof trusses, joints to be staggered.
- Pre-fabricated roof trusses (Truss sizes to be confirmed by structural engineer)
- Ventilated loft space
- 160mm Kooltherm K107 insulation (0.019W/m<sup>2</sup>k) between joists (joist sizes to be confirmed by structural engineer)
- Polythene Vapour control layer
- 35mm Service void.
- 15mm Plain T/E Plasterboard

Approx U-value = 0.12(W/m<sup>2</sup>k)

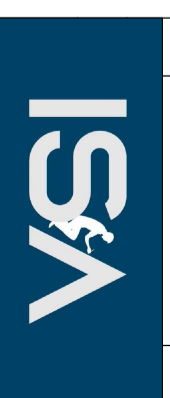
Note: Ventilated dry ridge and hip system fitted to allow appropriate ventilation into attic space. This should be equivalent to a 5mm continuous vent along the length of the ridge.

### Structure:

All structural element sizes to be confirmed by structural engineer and to meet their required calculations



REV.	DESCRIPTION	DATE



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PROJECT: 8 Melbost Borve,  
Borve  
Isle of Lewis  
HS2 ORR

CLIENT: Duncan & Annette Maclean

DESCRIPTION:  
PROPOSED:  
SECTION

STATUS: PLANNING APPLICATION

SCALE: 1:50 @A3

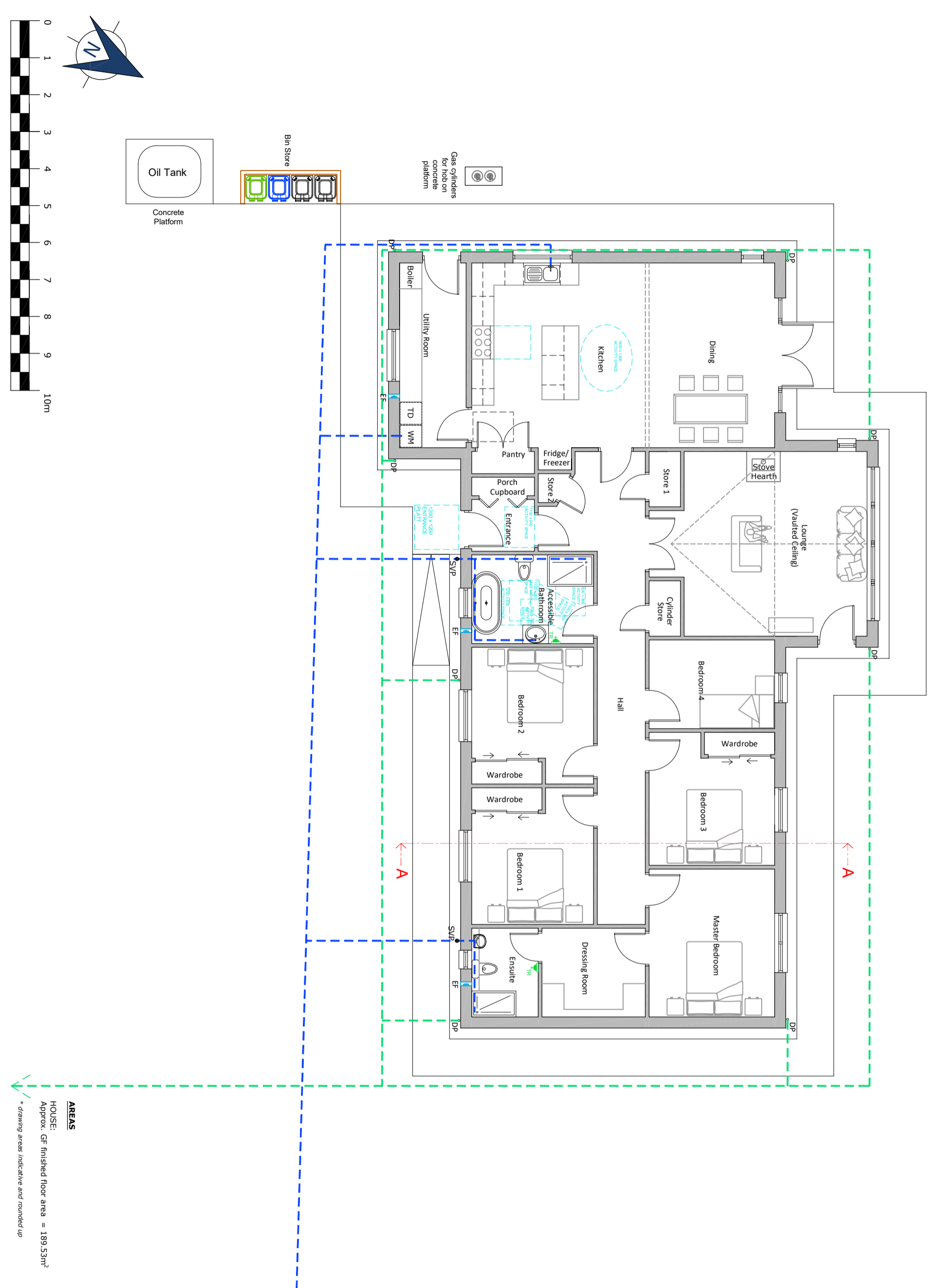
DRAWING NO: 24/005/006

DATE	28/03/2024
DRAWN	IS
CHECKED	IS





# 8 MELBOST BORVE, ISLE OF LEWIS PROPOSED :: DRAINAGE PLAN



**AREAS**  
HOUSE:  
Approx. GF finished floor area = 189.53m<sup>2</sup>  
\* drawing areas indicative and rounded up

REV.	DESCRIPTION	DATE

LEGEND	
	PROPOSED FOUL DRAINAGE
	PROPOSED SURFACE WATER DRAINAGE
	TUMBLE DRYER
	WASHING MACHINE
	SOIL VENT PIPE
	DOWNPIPE
	EXTRACT FAN

**NOTES**  
Proposed drainage runs are indicative, final drainage to be confirmed by structural engineer prior to installation.

**ISNA**  
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**PROJECT:** 8 Melbost Borve,  
Borve  
Isle of Lewis  
HS2 ORR

**CLIENT:** Duncan & Annette Maclean

**DESCRIPTION:**  
PROPOSED:  
DRAINAGE PLAN

**STATUS:** PLANNING APPLICATION

**SCALE:** 1:100 @A3

**DATE:** 28/03/2024

**DRAWN:** IS

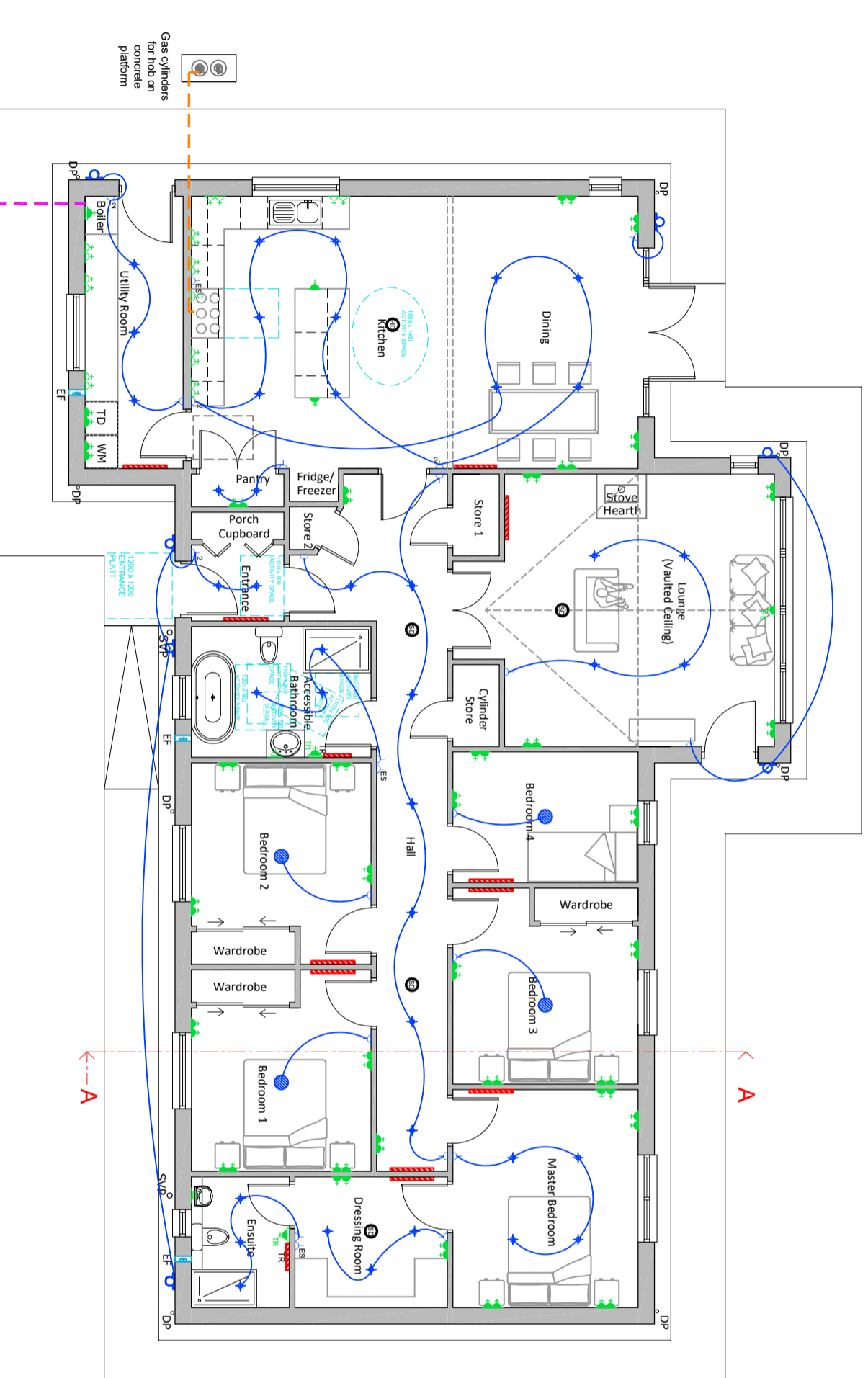
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**DRAWING NO.:** 24/005/008

**PROJECT:** 8 Melbost Borve,  
Borve  
Isle of Lewis  
HS2 ORR

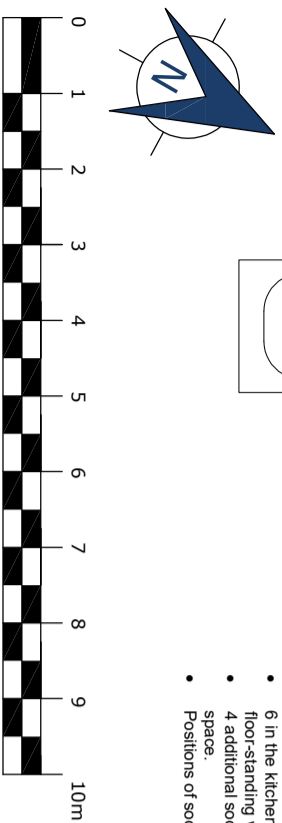
**CLIENT:** Duncan & Annette Maclean

# 8 MELBOST BORVE, ISLE OF LEWIS PROPOSED :: SERVICES PLAN



- New Extraction fans:**  
 Kitchen: mechanical extraction capable of at least 30 l/sec (intermittent)  
 Bathroom/suite: mechanical extraction capable of at least 15 l/sec (intermittent)
- New Extraction fans:**  
 Kitchen: mechanical extraction above hob through wall  
 Bathroom/suite: mechanical extraction through wall
- Trickle Vents to all windows to supply minimum:**  
 Bedroom: 12,000mm<sup>2</sup>  
 Kitchen: 10,000mm<sup>2</sup>
- Lighting:**  
 Light fittings should be energy efficient
- Sockets:**
- 4 in each bedroom.
  - 6 in the kitchen (3 above work top level in addition to any outlets provided for floor-standing white goods/built in appliances.
  - 4 additional sockets anywhere in the dwelling, including 1 in each circulation space.
  - Positions of sockets TBC by client

- Outlets and manual controls of electrical fixtures and systems should be positioned at 350mm from any internal corner, projecting wall and should be not more than 1.2m above floor level. This includes sockets, switches, timer controls or programmers.**
- Light switches should be positioned between 900mm - 1.1m above floor level.**
- Standard switched or unswitched sockets, outlets for other services including telephone and television should be positioned 400mm above floor level.**
- Above worktops switches should be 150mm above the surface.**  
 Where sockets are concealed, such as at the rear of white goods in a kitchen, separate switching should be provided at an accessible position.
- Written Information:**  
 Written information should be provided for the use of the occupier on the operation and maintenance of heating, ventilation, hot water service system, any low carbon equipment installations and any decentralised equipment for power generation to encourage optimum energy efficiency.
- A quick start guide, identifying all installed building services, the location of controls and identifying how systems should be used for optimum efficiency should be provided.**



REV.	DESCRIPTION	DATE

LEGEND	
	Proposed Gas Route
	Proposed Oil Route
	Light switches <small>(Number indicates number of gangs)</small>
	PIR External light fitting
	Pendant light fitting
	Recessed spotlight
	Extract Fan
	Extract Fan switches
	HIGH level 13 amp sockets, single / double <small>(Indicates level of height and room type, 1.2m above floor level, 1.2m above worktop)</small>
	LOW level 13 amp sockets, single / double <small>(Indicates level of height and room type, 1.2m above floor level, 1.2m above worktop)</small>
	Floor 13 amp sockets, double
	Towel Rail Switch <small>(Indicates level of height and room type, 1.2m above floor level, 1.2m above worktop)</small>
	Fused switch 13 amp sockets
	WC Shaver Point
	Power Supply Cooker
	Heater
	Heat Detector / Sounder
	Optical Detector / Sounder

**INNES SMITH ARCHITECTURE**

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**PROJECT:** 8 Melbost Borve, Isle of Lewis  
 HS2 ORR

**CLIENT:** Duncan & Annette Maclean

**DESCRIPTION:**  
 PROPOSED:  
 SERVICES PLAN

**STATUS:** PLANNING APPLICATION

SCALE:	DATE:	DATE:
1:100 @A3	28/03/2024	28/03/2024
DRAWN: IS	CHECKED: IS	
DRAWING NO: 24/005/009		

**AREAS**  
 HOUSE:  
 Approx. GF finished floor area = 189.53m<sup>2</sup>  
 \* drawing areas indicative and rounded up