



# COMHAIRLE NAN EILEAN SIAR

**The Town and Country Planning Scotland Act 1997 – Section 36(1)**

**Town and Country Planning General Development Procedure Order 2013 Regulation 16**

**Planning Register - Part 1**

## **Application Details**

<b>Reference Number</b>	<b>24/00161/PPD</b>
<b>Date registered as valid</b>	<b>06/05/2024</b>
<b>Description of Development</b>	<b>Demolish barn and erect 1.5 storey house</b>
<b>Address or description of location to which the development relates</b>	<b>15A Kneep, Uig, Isle of Lewis</b>
<b>Co-ordinates</b>	<b>N 936 385 E 109 673</b>
<b>Applicant Name</b>	<b>Mr Kevin Adams</b>
<b>Applicant Address</b>	<b>15 Kneep, Uig, Isle of Lewis, HS2 9HS</b>
<b>Agent name (if applicable)</b>	<b>The Draftsman Ltd Per Mr Jonathan Smith</b>
<b>Agent Address (if applicable)</b>	<b>15 Upper Shader, Isle of Lewis, HS2 0RQ</b>

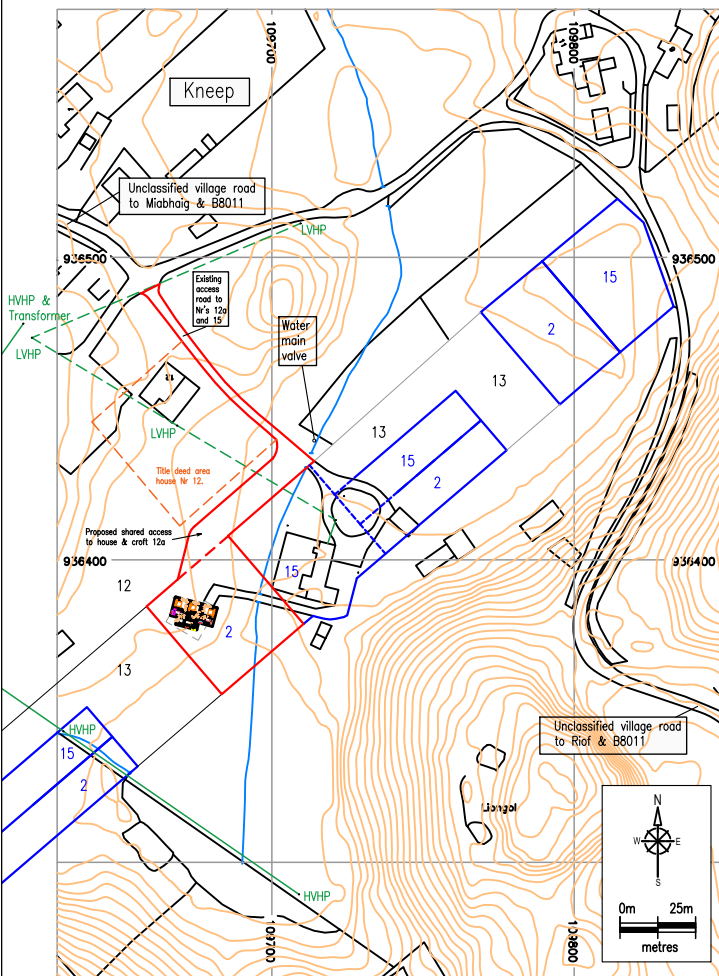
**The above application summary is accompanied by plans and drawings sufficient to describe the development and where relevant any design statement.**

Important Note: on Tuesday 07 November 2023, Comhairle nan Eilean Siar experienced a criminal cyber incident and is working with Police Scotland, the Scottish Government and the National Cyber Security Centre to investigate the matter.

The Online Planning Portal remains unavailable as does our suite of integrated software and hardware systems. In order to enable access by the wider public to application documents and consult upon planning applications, interim systems have been put in place on the temporary website of Comhairle nan Eilean Siar, including a rudimentary facility to display a limited number of documents per application.

Any party wishing to view the application file in full may do so at the offices of Comhairle nan Eilean Siar at Sandwick Road, Stornoway Isle of Lewis, HS1 2BW or Balivanich, Isle of Benbecula. HS7 5LA, ordinarily between 9am and 5pm Monday to Friday (excluding public and local holidays). It is recommended that in advance of visiting an office to view an application that you make an appointment by sending an email to [planning@cne-siar.gov.uk](mailto:planning@cne-siar.gov.uk)

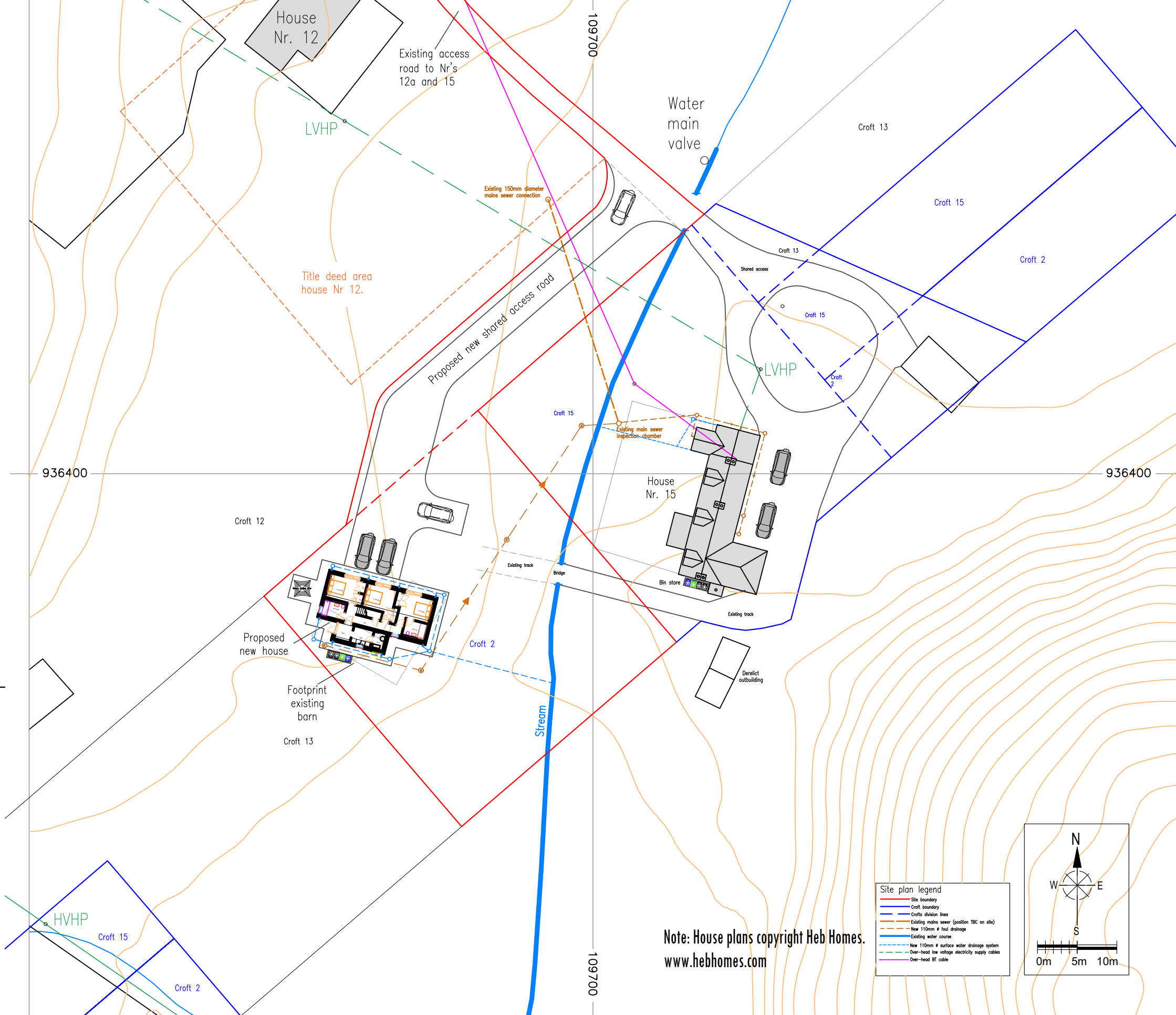
Location plan. 1:2500 scale



Serial number: 198596  
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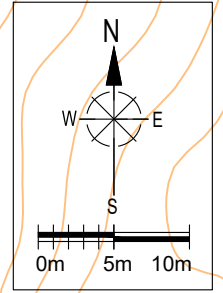
Note: Crofts 2 & 15 in applicants control

Site plan 1:500 scale



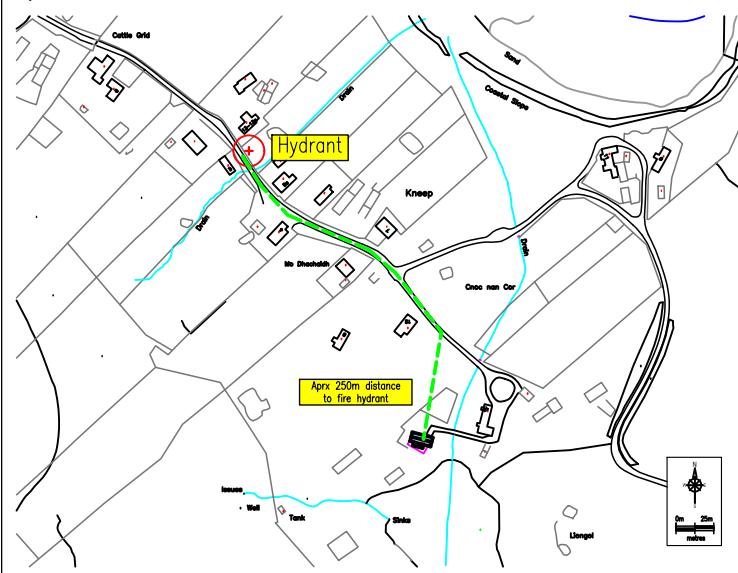
**Site plan legend**


- Site boundary
- Croft boundary
- Crofts distion lines
- Existing mains sewer (position TBC on site)
- New 110mm # foul drainage
- Existing water course
- New 110mm # surface water drainage system
- Over-head low voltage electricity supply cables
- Over-head BT cable



Note: House plans copyright Heb Homes.  
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Hydrant location. 1:5000 scale

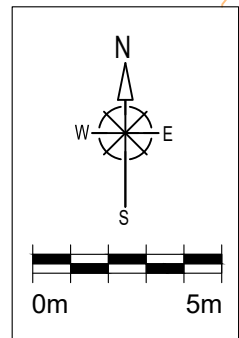
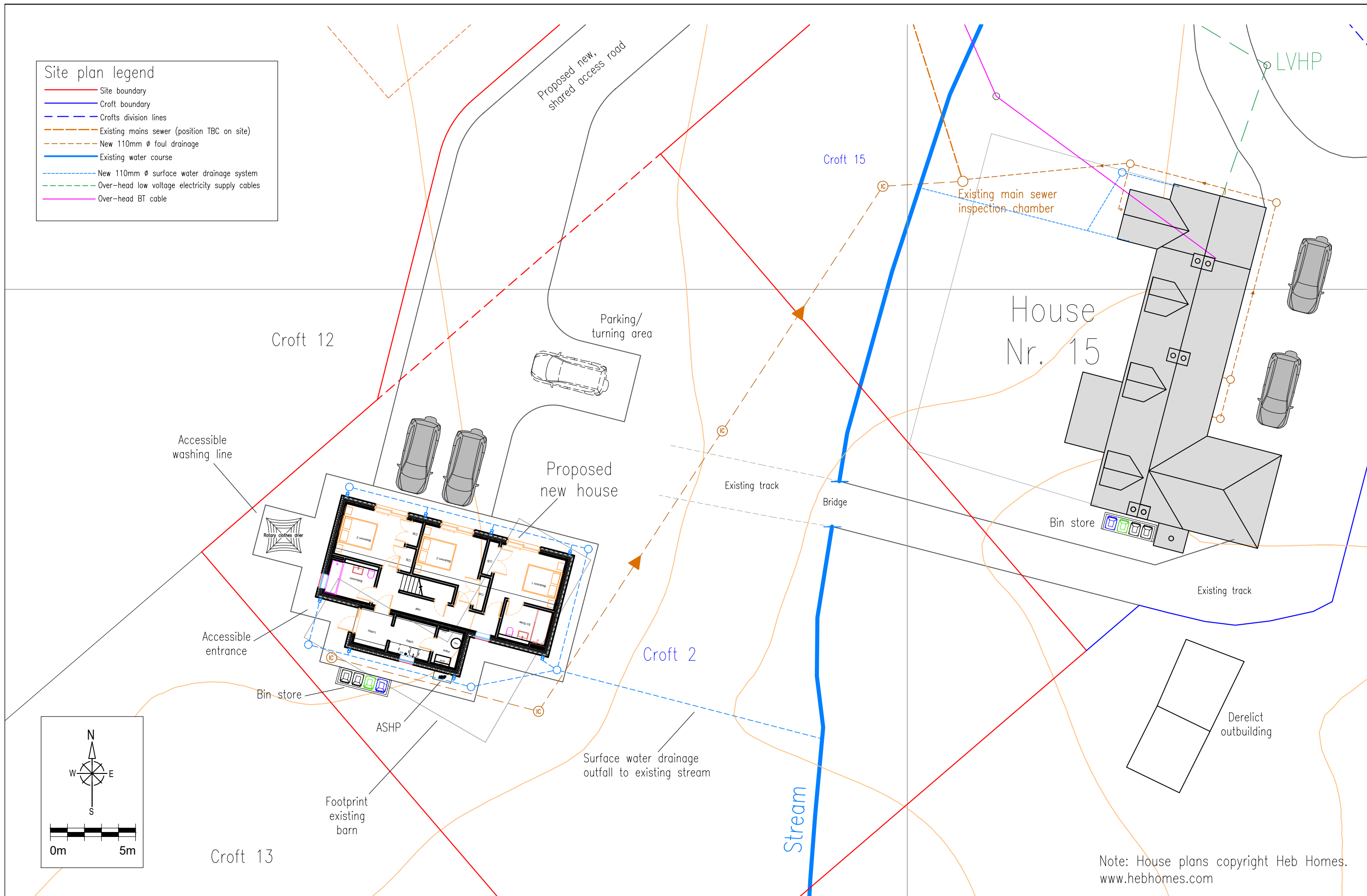


Title Location & general site plan	Project Erect new house	Issue Planning application	Drawn J. Smith	Sheet 1 of 8	Revision	Scale 1:2500 & 1:500 as shown	Sheet size A3	Date 22nd Apr 2024
Client Kevin Adams & Sandy Gibb	Site address 15 Kneep, Uig, Isle of Lewis. HS2 9HS	Copyright © The Draftsman Ltd 2024	Email thedraftsman@mail.com	Website www.thedraftsman.co.uk	Telephone 07884 112 181	 The Draftsman Ltd. Architectural Design Service 15 Upper Shader, Isle of Lewis, Scotland. HS2 0RQ		

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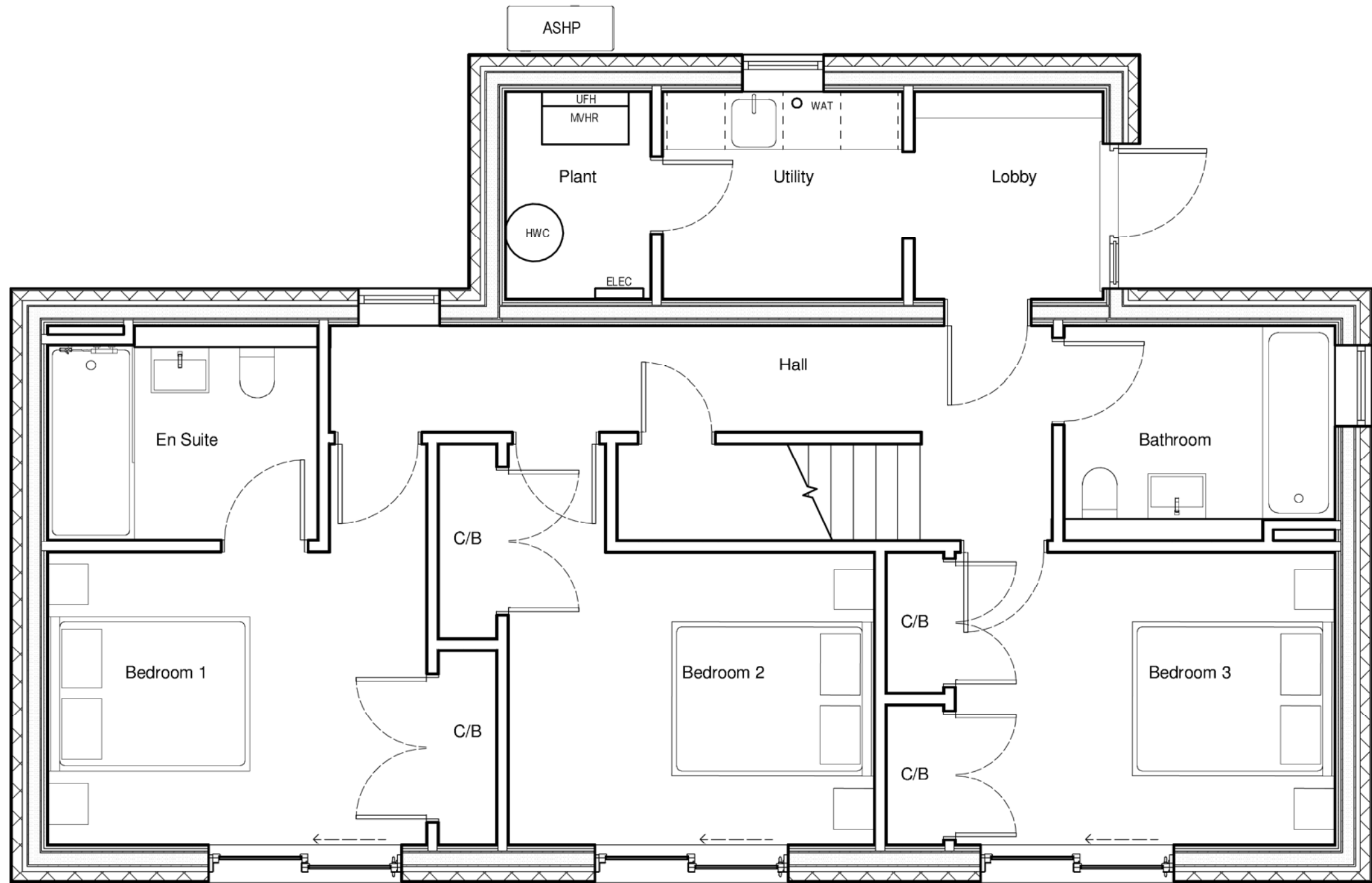
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- Site plan legend**
- Site boundary
  - Croft boundary
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  - - - Over-head low voltage electricity supply cables
  - Over-head BT cable



Note: House plans copyright Heb Homes. [www.hebhomes.com](http://www.hebhomes.com)

Title <b>1:200 site plan</b>	Project <b>Erect new house</b>	Issue <b>Planning application</b>	Drawn <b>J. Smith</b>	Sheet <b>2 of 8</b>	Revision	Scale <b>1:200 as shown</b>	Sheet size <b>A3</b>	Date <b>22nd Apr 2024</b>
Client <b>Kevin Adams &amp; Sandy Gibb</b>	Site address <b>15 Kneep, Uig, Isle of Lewis. HS2 9HS</b>	Copyright <b>© The Draftsman Ltd 2024</b>	Email <b>thedraftsman@mail.com</b>	Website <b>www.thedraftsman.co.uk</b>	Telephone <b>07884 112 181</b>	<b>The Draftsman Ltd. Architectural Design Service</b> <b>15 Upper Shader, Isle of Lewis, Scotland. HS2 0RQ</b>		



Proposed External Finishes

Walls: White Render/Standing seam Zinc cladding  
 Roof: Slate  
 Gutters: Galvanised Metal  
 Windows: Timber framed windows in dark grey

CLIENT  
 Kevin Adams & Sandy Gibb

Project Number:  
 1005

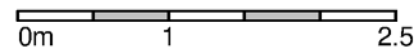
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 15 Kneep, Isle of Lewis,  
 HS2 9HS

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REVISION:  
 P3

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 GROUND FLOOR PLAN

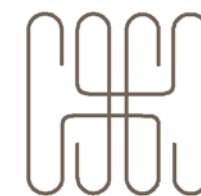
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 CHECKED: FM/JH  
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PLANNING APPLICATION

REVISION	DESCRIPTION
P1	Draft Issue
P2	Client Comments
P3	Amendments

DRAWN	CHECKED	DATE
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RG	FM/JH	10/07/23
RG	FM/JH	12/07/23

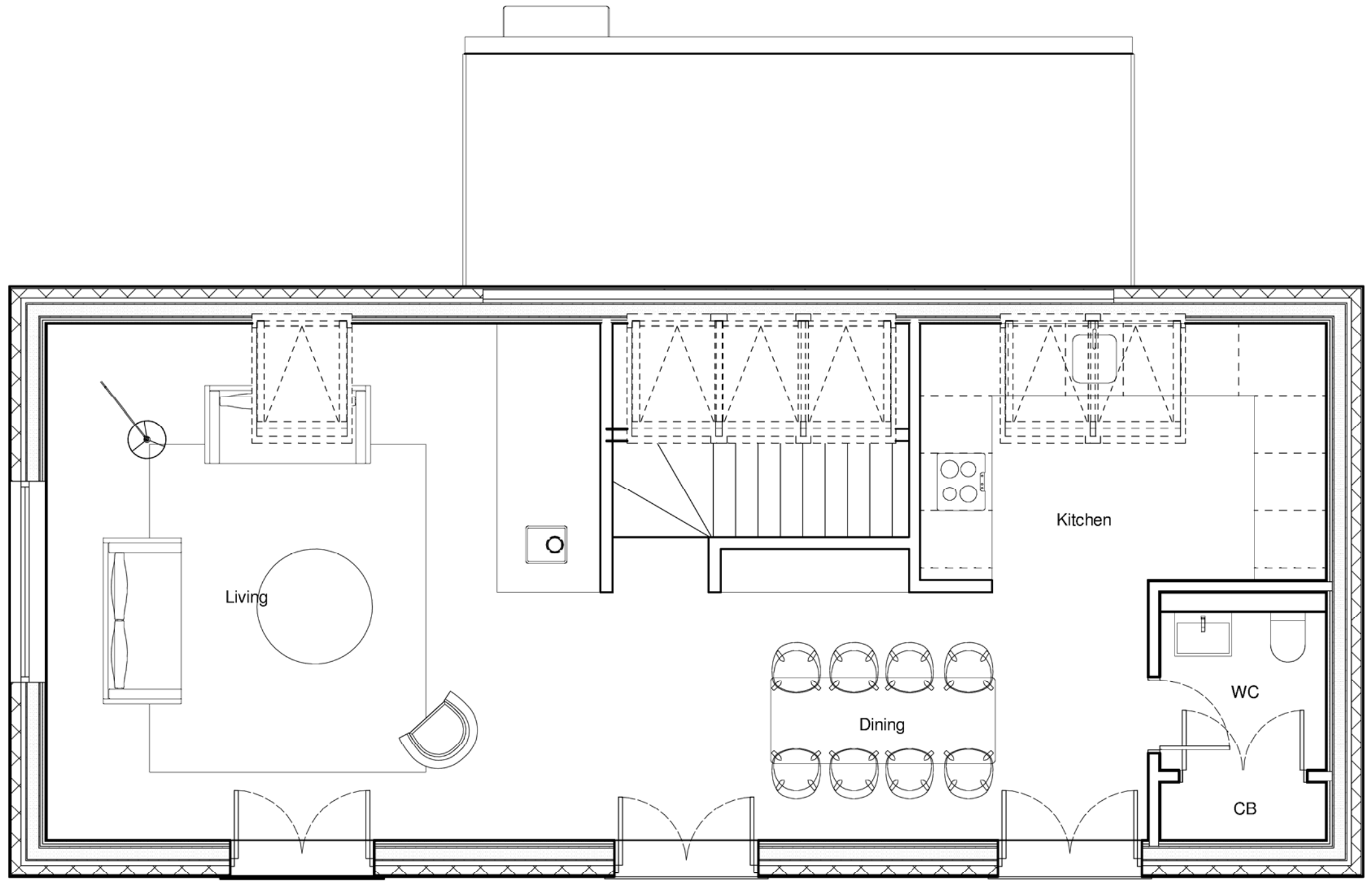


**HebHomes**

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 Email: info@hebhomes.com  
 Web: www.hebhomes.com

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Proposed External Finishes  
**Walls:** White Render/Standing seam Zinc cladding  
**Roof:** Slate  
**Gutters:** Galvanised Metal  
**Windows:** Timber framed windows in dark grey

CLIENT  
 Kevin Adams & Sandy Gibb

Project Number:  
 1005

Site Address:  
 15 Kneep, Isle of Lewis,  
 HS2 9HS

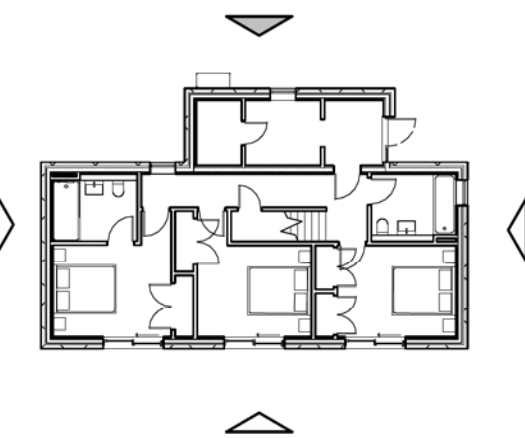
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PLANNING APPLICATION			

REVISION	DESCRIPTION	DRAWN	CHECKED	DATE
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P2	Client Comments	RG	FM/JH	10/07/23
P3	Amendments	RG	FM/JH	12/07/23

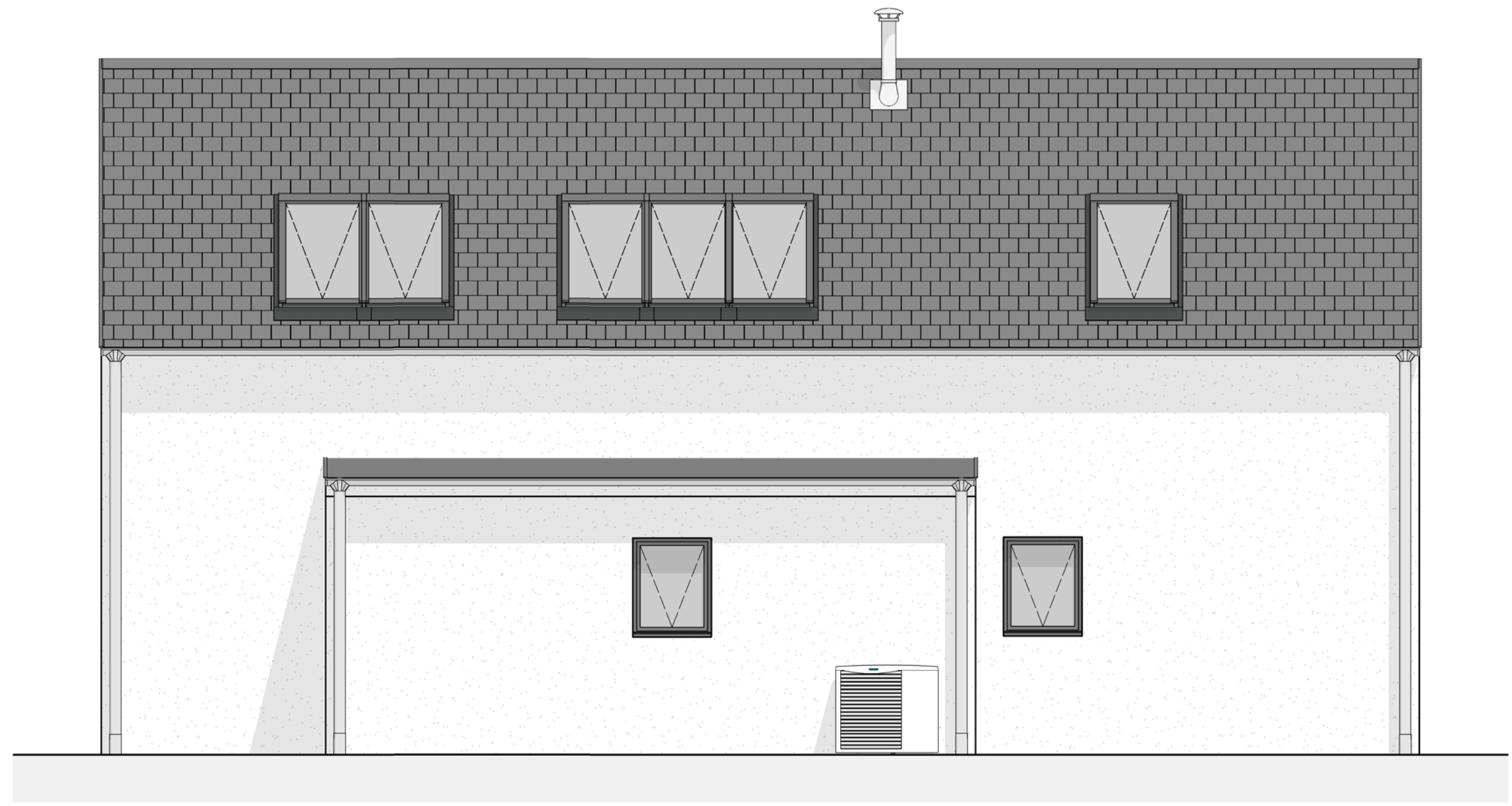
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 Gutters: Galvanised Metal  
 Windows: Timber framed windows in dark grey



CLIENT  
 Kevin Adams & Sandy Gibb

Project Number:  
 1005

Site Address:  
 15 Kneep, Isle of Lewis,  
 HS2 9HS

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PLANNING APPLICATION			

REVISION	DESCRIPTION	DRAWN	CHECKED	DATE
P1	Draft Issue	RG	JH	08/06/23
P2	Client Comments	RG	FM/JH	10/07/23
P3	Amendments	RG	FM/JH	12/07/23

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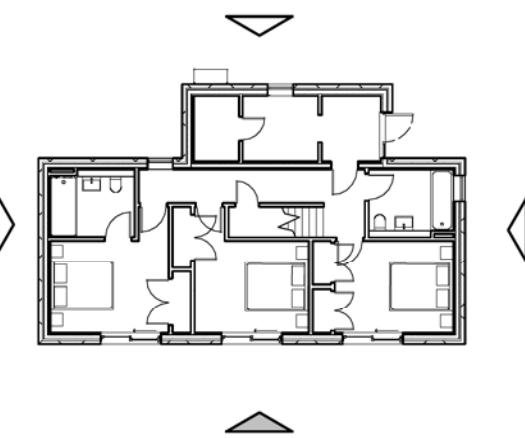
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**Proposed External Finishes**  
 Walls: White Render/Standing seam Zinc cladding  
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 Gutters: Galvanised Metal  
 Windows: Timber framed windows in dark grey



CLIENT  
 Kevin Adams & Sandy Gibb

Project Number:  
 1005

Site Address:  
 15 Kneep, Isle of Lewis,  
 HS2 9HS

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PLANNING APPLICATION			

REVISION	DESCRIPTION	DRAWN	CHECKED	DATE
P1	Draft Issue	RG	JH	08/06/23
P2	Client Comments	RG	FM/JH	10/07/23
P3	Amendments	RG	FM/JH	12/07/23

## HebHomes

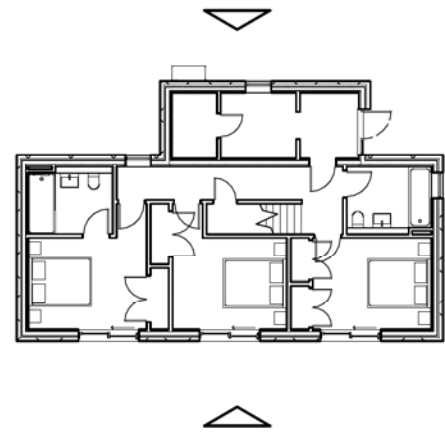
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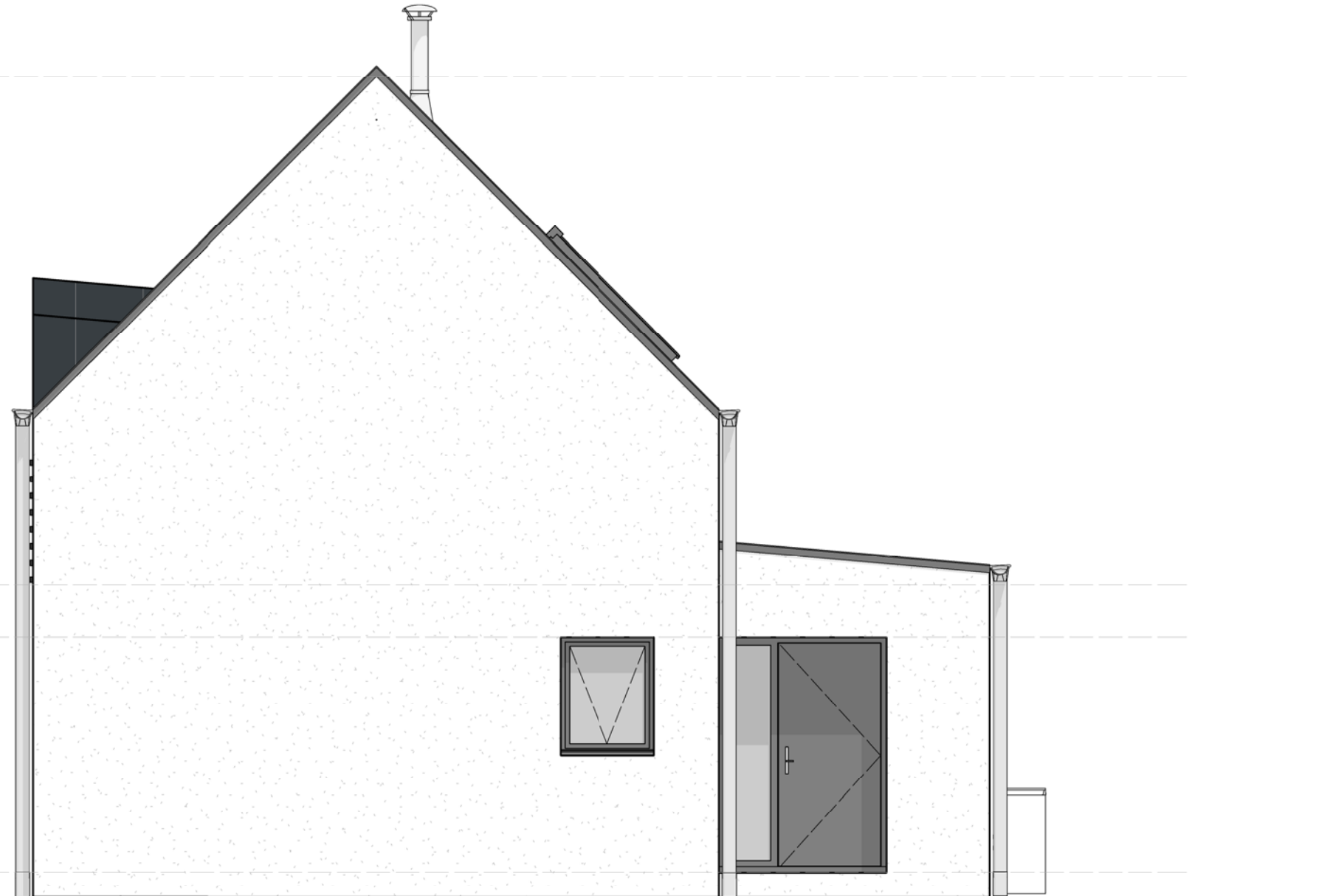
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 Walls: White Render/Standing seam Zinc cladding  
 Roof: Slate  
 Gutters: Galvanised Metal  
 Windows: Timber framed windows in dark grey

ROOF LEVEL +7130

FIRST FLOOR LEVEL +2575

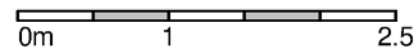
TOP OF WINDOWS +2100

GROUND FLOOR LEVEL +0



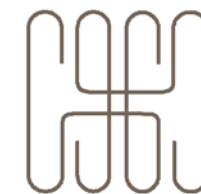
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 HS2 9HS

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PLANNING APPLICATION

REVISION	DESCRIPTION	DRAWN	CHECKED	DATE
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P2	Client Comments	RG	FM/JH	10/07/23
P3	Amendments	RG	FM/JH	12/07/23



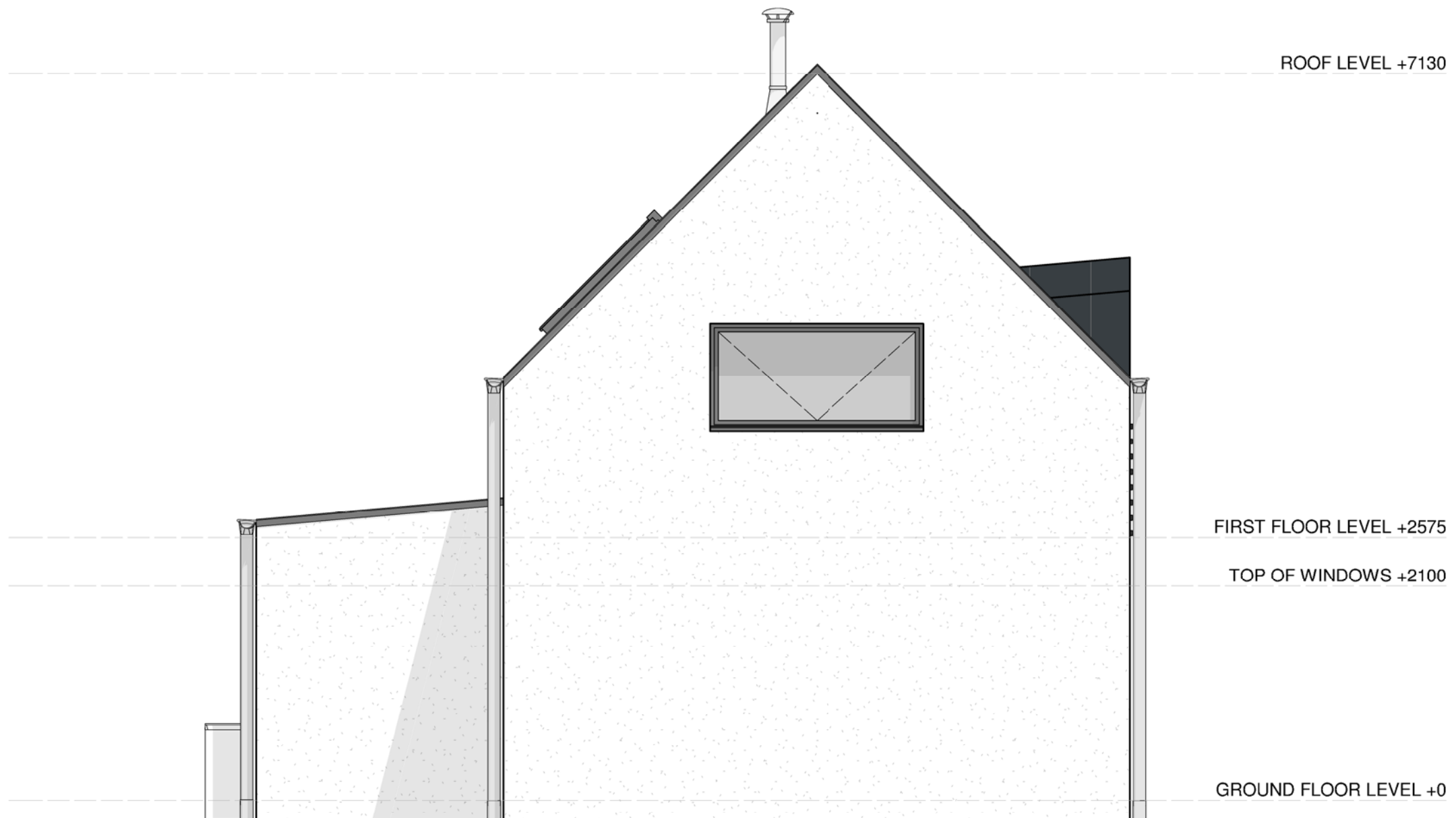
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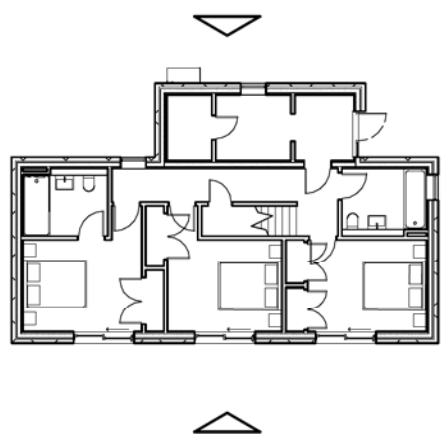


ROOF LEVEL +7130

FIRST FLOOR LEVEL +2575

TOP OF WINDOWS +2100

GROUND FLOOR LEVEL +0



**Proposed External Finishes**  
 Walls: White Render/Standing seam Zinc cladding  
 Roof: Slate  
 Gutters: Galvanised Metal  
 Windows: Timber framed windows in dark grey

CLIENT  
 Kevin Adams & Sandy Gibb

Project Number:  
 1005

Site Address:  
 15 Kneep, Isle of Lewis,  
 HS2 9HS

DRAWING NUMBER: 1005-HEB-XX-XX-DR-A-00304		REVISION: P3	
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PLANNING APPLICATION			

REVISION	DESCRIPTION	DRAWN	CHECKED	DATE
P1	Draft Issue	RG	JH	08/06/23
P2	Client Comments	RG	FM/JH	10/07/23
P3	Amendments	RG	FM/JH	12/07/23



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# Architectural Design Service

The Draftsman Ltd. 15 Upper Shader. Isle of Lewis. Scotland. HS2 0RQ  
T: 07884 112 181 E: thedraftsman@mail.com. www.thedraftsman.co.uk



**Project:** Erect new three bedroom, one and a half storey house

**Location:** Adjacent to Nr 15 Kneep.

**Client:** Kevin Adams and Sandy Gibb

**Date:** 5<sup>th</sup> May 2024

## Design Statement

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### Context

The costal site lies at the southern end of the of village of Keep, with views toward Kyles Pabay (Caolas Phabaigh), and looking across the water toward the islands of Pabaigh Mor and Bhacasaigh. Located approximately 130m from the single track Kneep village road. The site is located within the South Lewis, Harris and North Uist National Scenic Area.

The proposed development will be located on the site of an existing, derelict, barn which is to be demolished. The site is low lying, in a natural basin, and surrounded on three sides by hills, thereby reducing the visual impact of the building on the surrounding landscape, and having no effect on the seaward views from the surrounding, more elevated houses.



Image 1. The site when viewed from the Kneep village road at a point directly North East of the site.



Image 2. The existing barn, to be demolished.

## **Existing Site Description:**

The un-enclosed site is part of croft Nr. 2 Kneep, and would have originally been used as rough grazing land for livestock. The croft is largely unsuitable for use as arable land. The barn, which will be demolished has fallen into a derelict state.

## **Proposed Development Details:**

The proposal is to erect three bedroom, one and half storey house. The house will be mainly rectangular in shape floor plan, with a small annex to the rear, south west elevation. The north east elevation will feature large windows to take advantage of the views. Due to the low-lying position of the site, the living space within the house will be on first floor level, affording a view of the sea. An access road, turning area and parking will be provided. Given the low-lying nature of the site, below the village road, surrounded by undulating landscape on all sides and the simple nature of the design and small scale and form of the house, it is not considered that the development will negatively impact on the surrounding environment.

## **Surrounding Buildings:**

The existing houses in the village of Kneep are a mixture of stone-built traditional styled croft houses, modern timber frame houses, older houses that have been extended and altered and architect designed, contemporary housing. From the proposed site, no two houses visible are the same in style, size or external finish. There is no discernible building line in the immediate vicinity. The proposed building does not overlook any neighbouring houses.

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T: 07884 112 181 E: thedraftsman@mail.com. www.thedraftsman.co.uk



### **Services:**

*Electricity* - There are existing over-head power lines adjacent to the site. *Foul water* - It is proposed that the foul water drainage will be connected to the adjacent mains sewer. *Water supply* - The house will be connected to the mains water supply. *Surface water drainage* – Surface water drainage will be discharged to the sea. *Telecoms*. There are telegraph poles within close proximity to the site.