



COMHAIRLE NAN EILEAN SIAR

The Town and Country Planning Scotland Act 1997 – Section 36(1)

Town and Country Planning General Development Procedure Order 2013 Regulation 16

Planning Register - Part 1

Application Details

Reference Number	24/00152
Date registered as valid	23/04/2024
Description of Development	Erect dwellinghouse, install solar panels and air source heat pump, create access, erect garage
Address or description of location to which the development relates	5D Laxdale, Isle of Lewis
Applicant Name	Mr & Mrs Nicky & Natasha Ellakirk
Applicant Address	9 Portrana Drive, Stornoway
Agent name (if applicable)	
Agent address (if applicable)	

The above application summary is accompanied by plans and drawings sufficient to describe the development and where relevant any design statement.

Important Note: on Tuesday 07 November 2023, Comhairle nan Eilean Siar experienced a criminal cyber incident and is working with Police Scotland, the Scottish Government and the National Cyber Security Centre to investigate the matter.

The Online Planning Portal remains unavailable as does our suite of integrated software and hardware systems. In order to enable access by the wider public to application documents and consult upon planning applications, interim systems have been put in place on the temporary website of Comhairle nan Eilean Siar, including a rudimentary facility to display a limited number of documents per application.

Any party wishing to view the application file in full may do so at the offices of Comhairle nan Eilean Siar at Sandwick Road, Stornoway Isle of Lewis, HS1 2BW or Balivanich, Isle of Benbecula. HS7 5LA, ordinarily between 9am and 5pm Monday to Friday (excluding public and local holidays). It is recommended that in advance of visiting an office to view an application that you make an appointment by sending an email to planning@cne-siar.gov.uk

PROJECT

ERECT NEW HOUSE AND GARAGE AT 5D LAXDALE

CLIENT

NICKY ELLAKIRK

TITLE

LOCATION PLAN

DRAWN BY

MJM

CHECKED BY

N/A

SCALE @ A4

1:5000

PROJECT NUMBER

23/03

DATE

15/04/2024

ISSUE

PLANNING

DRAWING NUMBER

A/23/03/101

This drawing must be read in conjunction with the Designer's Risk Assessment, specification and all other relevant documentation and drawings.

Do not scale from this drawing or the digital data, only figured dimensions are to be used. For Planning refer to linear scale.

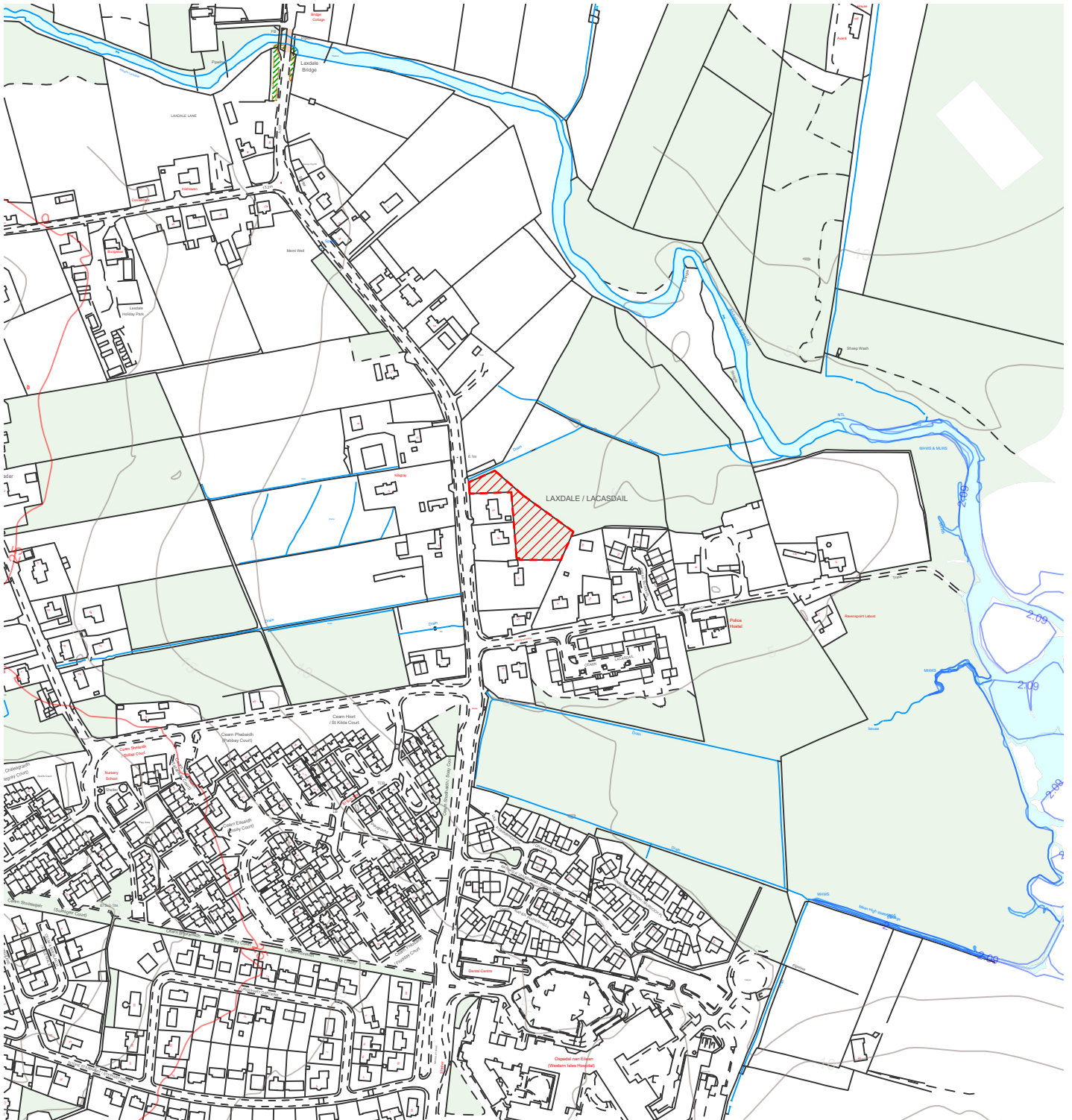
Check all dimensions on site prior to carrying out any works - advise any discrepancy

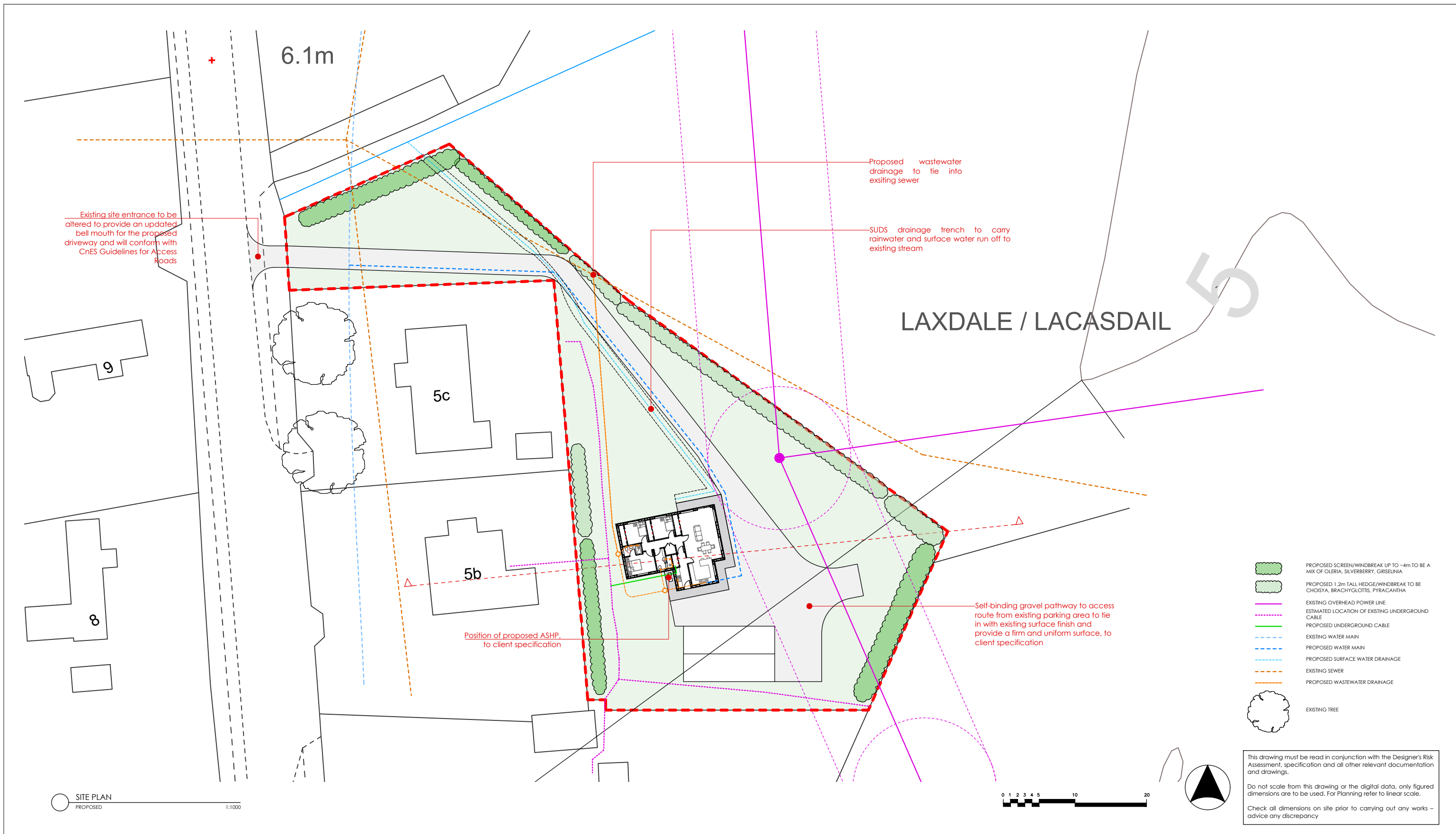


SITE LOCATION:
Address: 5D Laxdale, Stormway
Isle of Lewis
HS2 ODR
Easting: 142626
Northing: 934656
Grid Ref: NB426346

REVISIONS

REV	DATE	BY	DESCRIPTION





SITE PLAN
PROPOSED
1:1000



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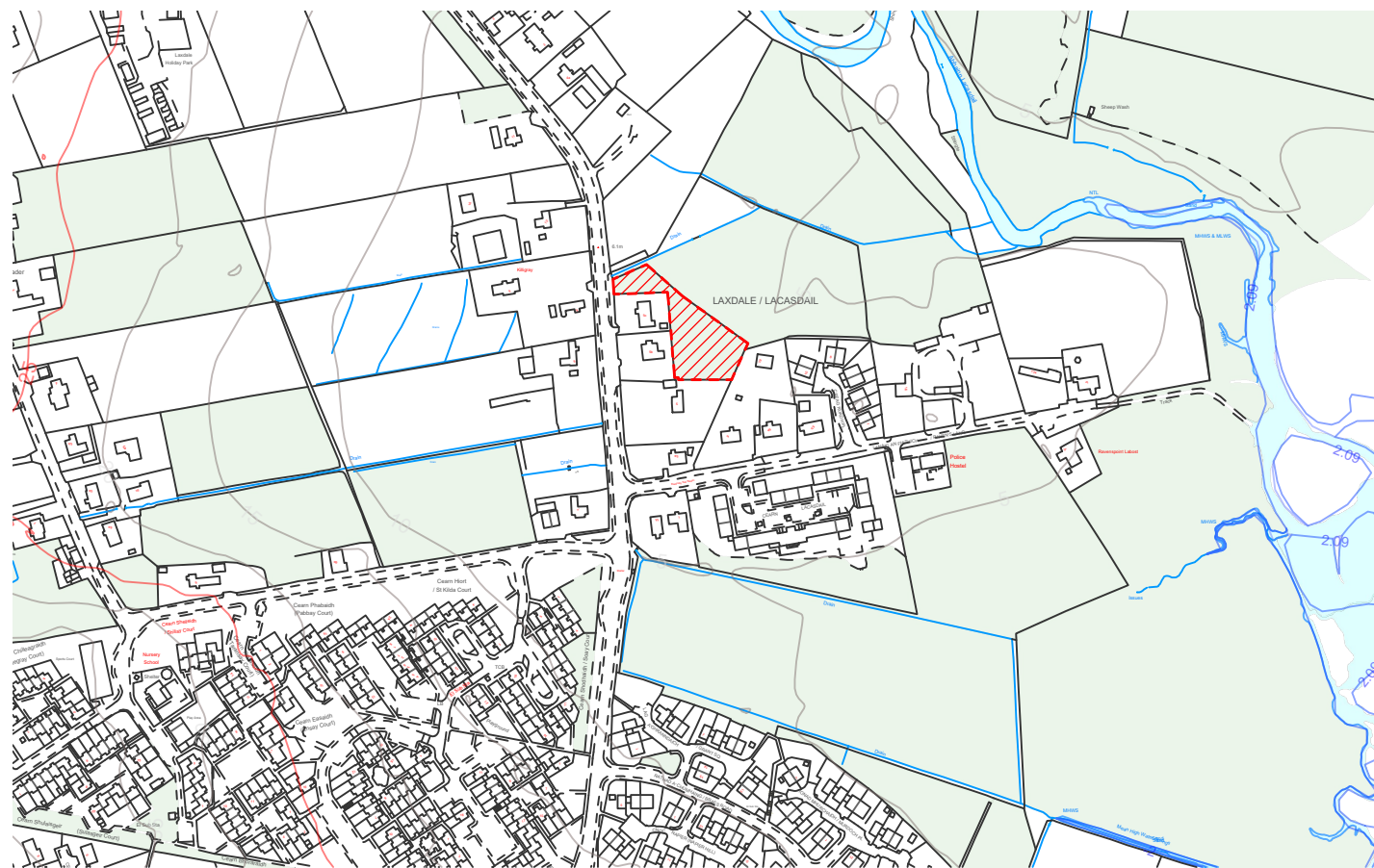
- PROPOSED SCREEN/WINDBREAK UP TO ~4m TO BE A MIX OF OLERIA, SILVERBERRY, GRISSELINIA
- PROPOSED 1.2m TALL HEDGE/WINDBREAK TO BE CHOISYA, BRACHYGLOTTIS, PYRACANTHA
- EXISTING OVERHEAD POWER LINE
- ESTIMATED LOCATION OF EXISTING UNDERGROUND CABLE
- PROPOSED UNDERGROUND CABLE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- PROPOSED SURFACE WATER DRAINAGE
- EXISTING SEWER
- PROPOSED WASTEWATER DRAINAGE
- EXISTING TREE

REVISIONS			
REV	DATE	BY	DESCRIPTION
A	25/04/2024	MJM	ADDITION OF ASHP LOCATION

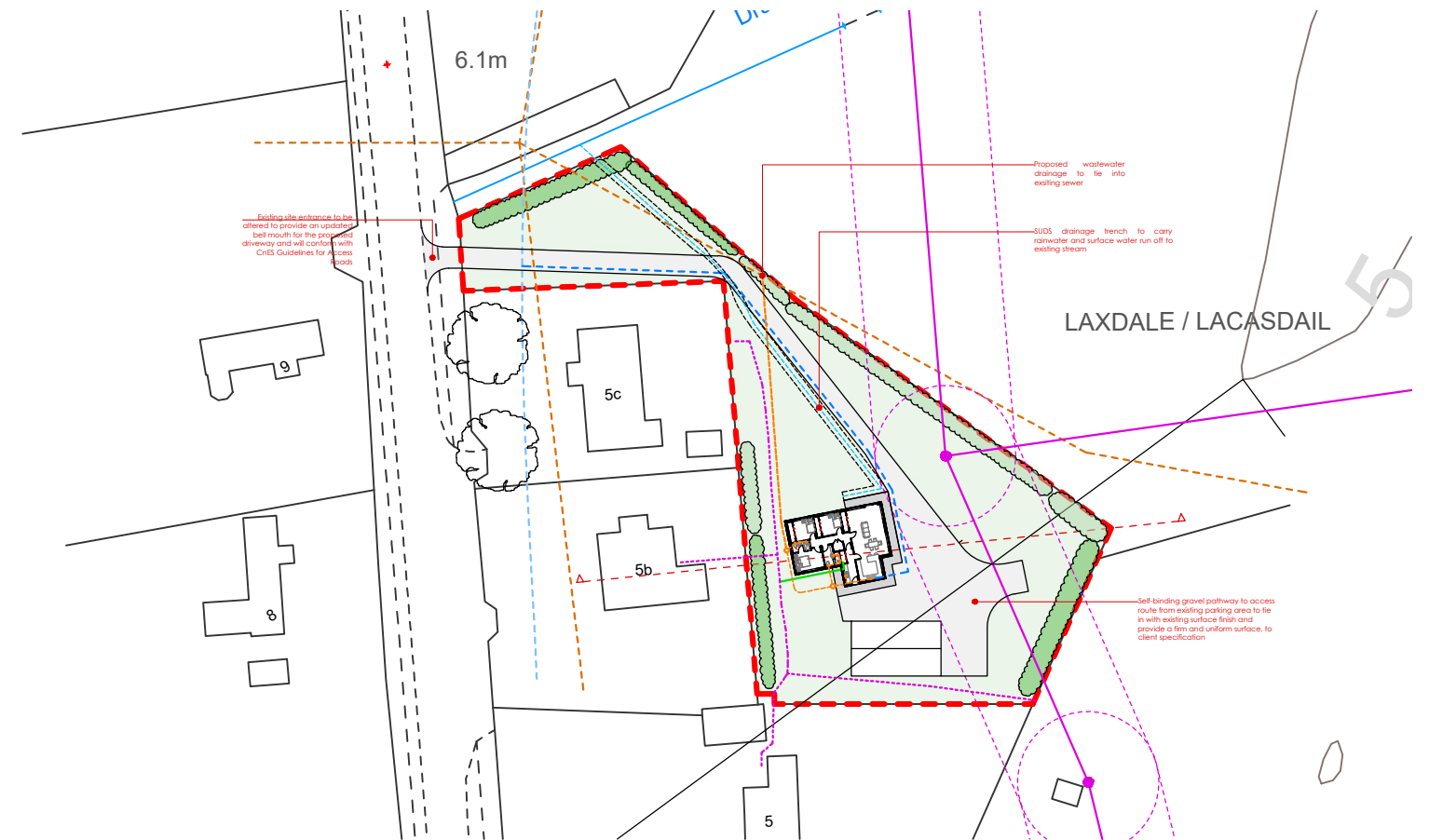
PROJECT
ERECT NEW HOUSE AND GARAGE AT 5D LAXDALE
CLIENT
NICKY ELLAKIRK

TITLE
PROPOSED SITE PLAN
DRAWN BY MJM
CHECKED BY N/A
SCALE 1:500
PAPER SIZE A3

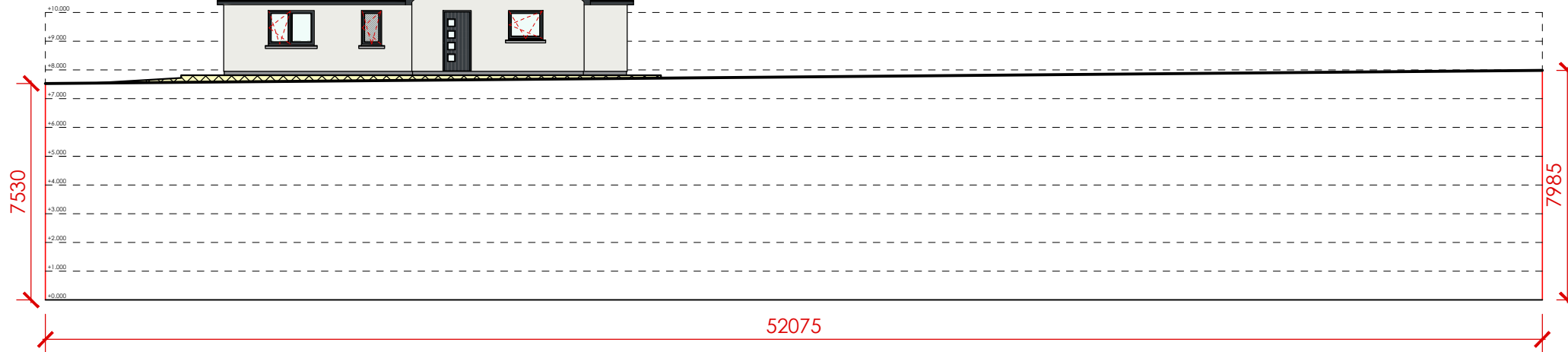
PROJECT NUMBER 23/03
DATE 15/04/2024
ISSUE PLANNING
DRAWING NUMBER
A/23/03/102A



LOCATION PLAN
PROPOSED
1:5000



SITE PLAN
PROPOSED
1:1000



SITE SECTION
PROPOSED
1:200

- PROPOSED SCREEN/WINDBREAK UP TO ~4m TO BE A MIX OF OLERIA, SILVERBERRY, GRISELINIA
- PROPOSED 1.2m TALL HEDGE/WINDBREAK TO BE CHOISYA, BRACHYGLOTTIS, PYRACANTHA
- EXISTING OVERHEAD POWER LINE
- ESTIMATED LOCATION OF EXISTING UNDERGROUND CABLE
- PROPOSED UNDERGROUND CABLE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- PROPOSED SURFACE WATER DRAINAGE
- EXISTING SEWER
- PROPOSED WASTEWATER DRAINAGE
- EXISTING TREE



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REVISIONS

REV	DATE	BY	DESCRIPTION

PROJECT

ERECT NEW HOUSE
AND GARAGE AT 5D
LAXDALE

CLIENT
NICKY ELLAKIRK

TITLE

PROPOSED SITE PLAN AND
SECTION

DRAWN BY MJM

CHECKED BY N/A

SCALE VARIES

PAPER SIZE A3

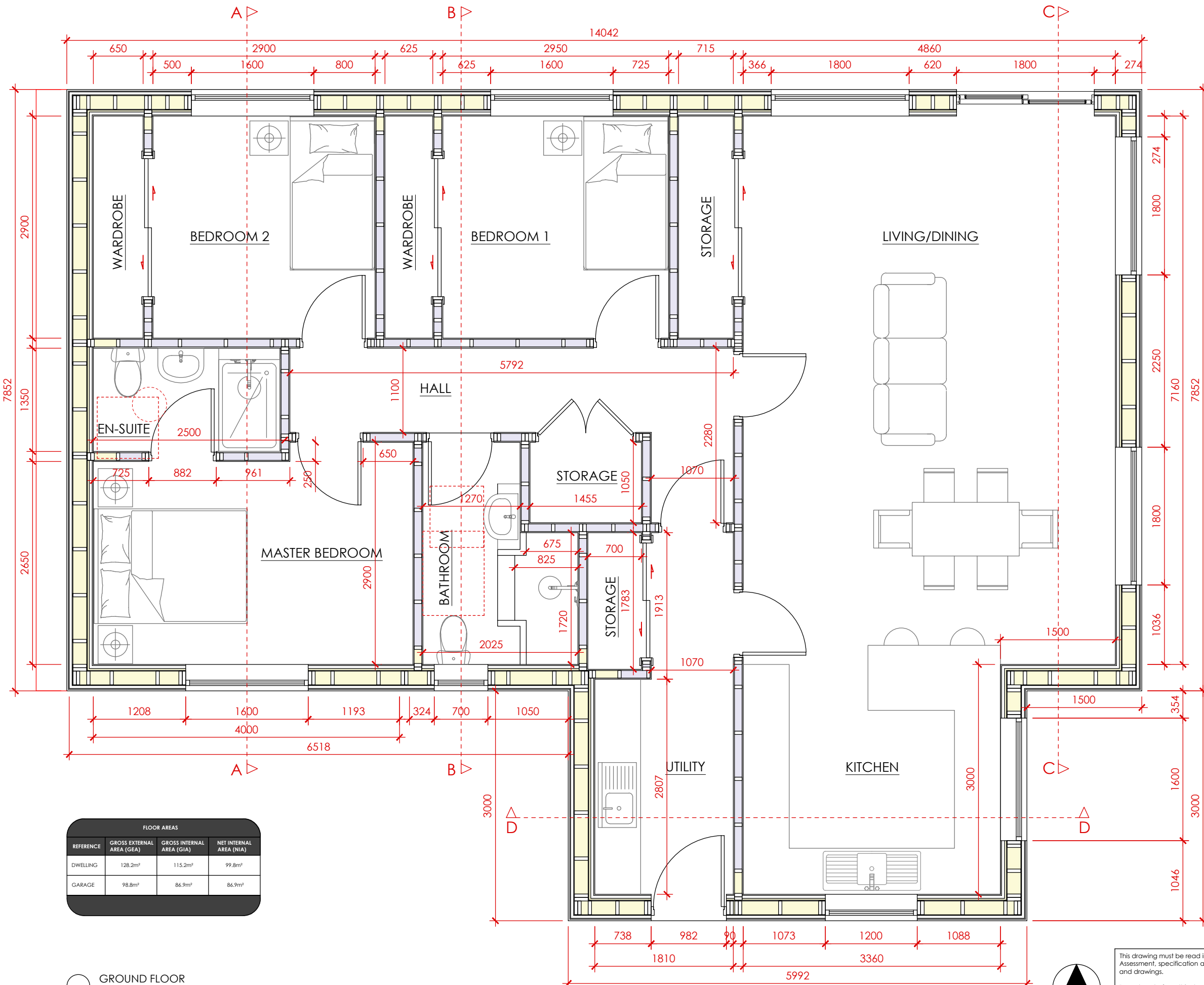
PROJECT NUMBER 23/03

DATE 14/04/2024

ISSUE PLANNING

DRAWING NUMBER

A/23/03/103



FLOOR AREAS			
REFERENCE	GROSS EXTERNAL AREA (GEA)	GROSS INTERNAL AREA (GIA)	NET INTERNAL AREA (NIA)
DWELLING	128.2m ²	115.2m ²	99.8m ²
GARAGE	98.8m ²	86.9m ²	86.9m ²

GROUND FLOOR
PROPOSED 1:50



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PROJECT
ERECT NEW HOUSE AND GARAGE AT 5D LAXDALE

CLIENT
NICKY ELLAKIRK

REVISIONS

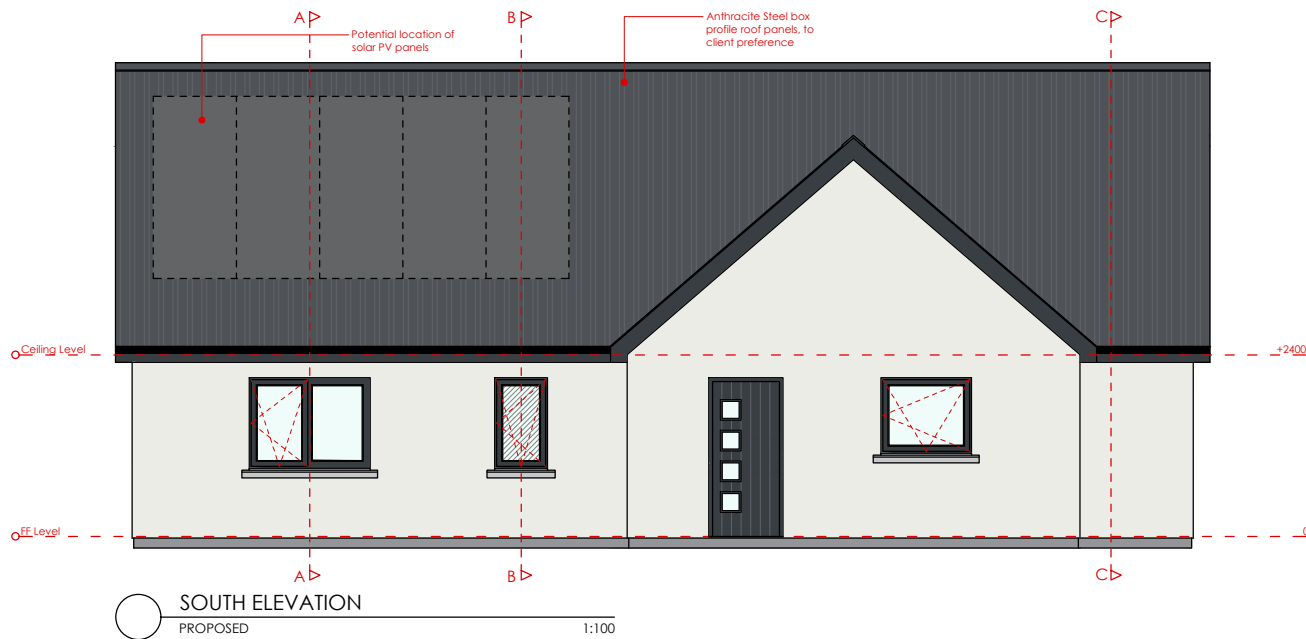
REV	DATE	BY	DESCRIPTION

DRAWN BY **MJM**
CHECKED BY **N/A**
SCALE **1:50**
PAPER SIZE **A3**

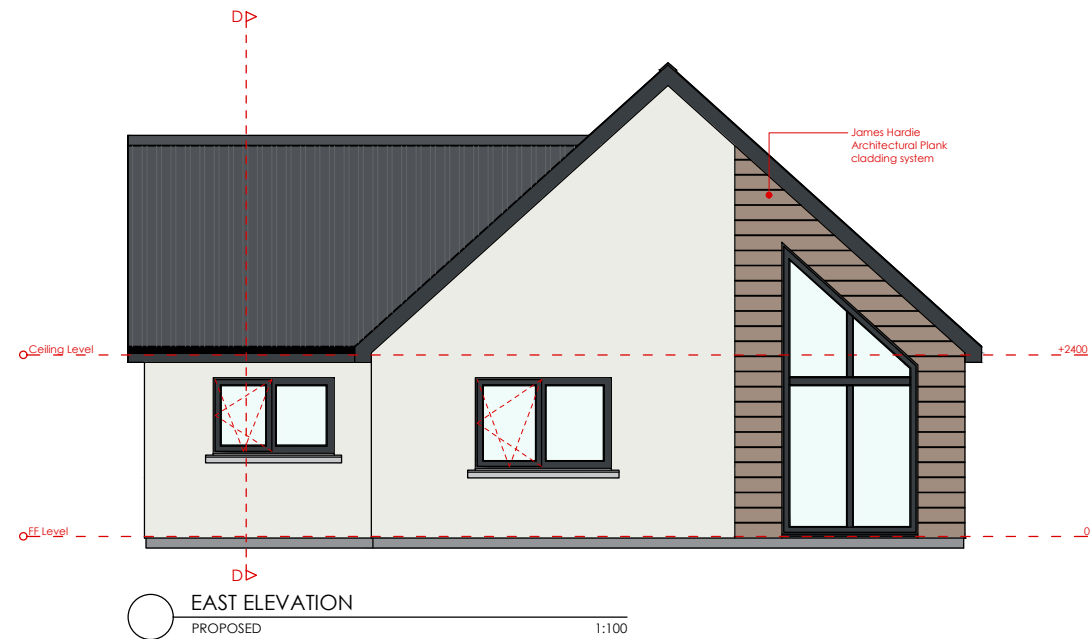
TITLE
PROPOSED FLOOR PLAN

PROJECT NUMBER **23/03**
DATE **15/04/2024**

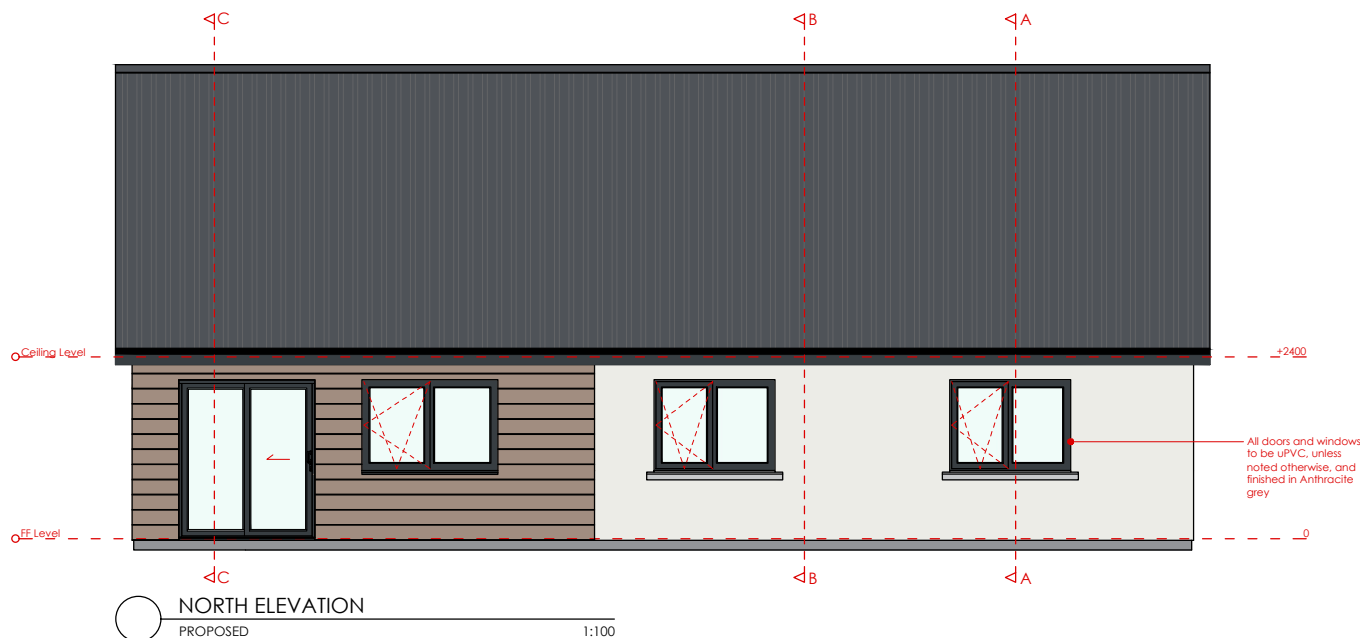
DRAWING NUMBER
A/23/03/104
ISSUE
PLANNING



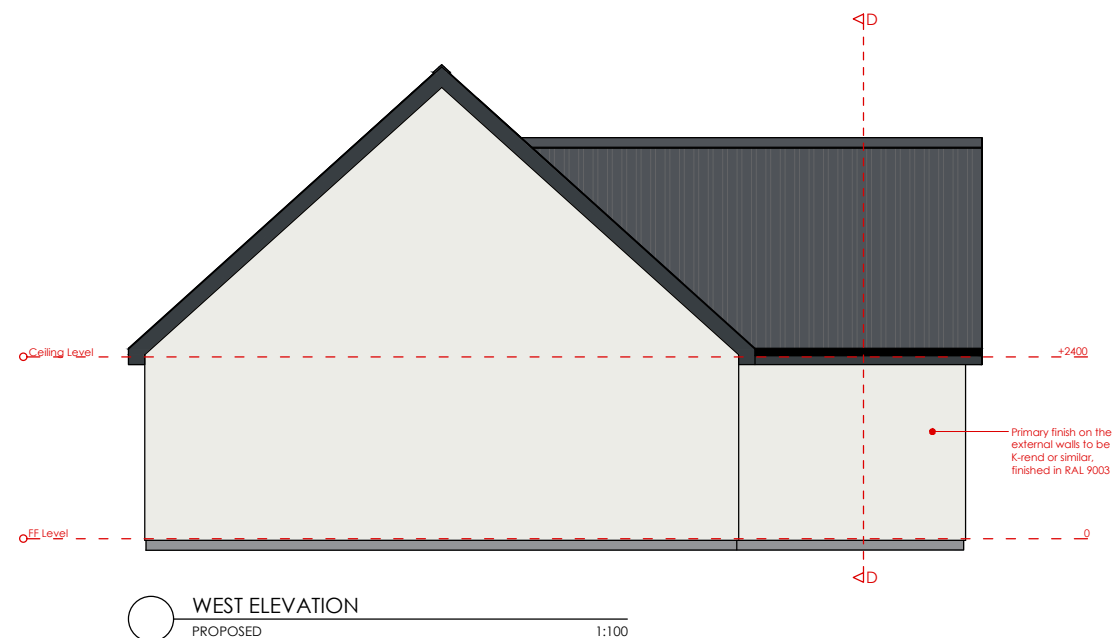
SOUTH ELEVATION
PROPOSED 1:100



EAST ELEVATION
PROPOSED 1:100



NORTH ELEVATION
PROPOSED 1:100



WEST ELEVATION
PROPOSED 1:100

MATERIAL FINISHES		
REFERENCE	DESCRIPTION	MATERIAL FINISH
EW01	EXTERNAL WALL	WHITE K-REND, OR EQUAL AND APPROVED
EW02	EXTERNAL WALL	JAMES HARDIE PLANK CLADDING (MONTEREY TAUPÉ), OR EQUAL AND APPROVED
RO1	PITCHED ROOF	ANTHRACITE GREY, STEEL BOX PROFILE ROOF PANELS, TO CLIENT SPECIFICATION
WINDOWS & DOORS	WINDOWS & DOORS	ANTHRACITE UPVC WINDOWS AND DOORS
RAINWATER GOODS	GUTTERING, DOWNPIPES	BLACK, PVC
FASCIA	FASCIA & SOFFITS	BLACK, PVC OR REDWOOD



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PROJECT
ERECT NEW HOUSE AND GARAGE AT 5D LAXDALE

CLIENT
NICKY ELLAKIRK

REVISIONS

REV	DATE	BY	DESCRIPTION
A	25/04/2024	MJM	ADDITION OF POTENTIAL SOLAR PV PANELS

DRAWN BY **MJM**

CHECKED BY **N/A**

SCALE **1:100**

PAPER SIZE **A3**

TITLE
PROPOSED ELEVATIONS

PROJECT NUMBER **23/03**

DATE **15/04/2024**

DRAWING NUMBER

A/23/03/105A

ISSUE

PLANNING

