



COMHAIRLE NAN EILEAN SIAR

The Town and Country Planning Scotland Act 1997 – Section 36(1)

Town and Country Planning General Development Procedure Order 2013 Regulation 16

Planning Register - Part 1

Application Details

Reference Number	24/00071/PPD
Date registered as valid	23/02/24
Description of Development	Alteration and extension to existing house, including addition of front porch; and demolition and replacement of rear extension

Address or description of location to which the development relates	45 Newvalley, Isle of Lewis N935 267 E141 613
Applicant Name	Mr Ross Maciver-Hall
Applicant Address	45 Newvalley, Isle of Lewis, HS2 0DW
Agent name (if applicable)	N/A
Agent address (if applicable)	N/A

The above application summary is accompanied by plans and drawings sufficient to describe the development and where relevant any design statement.

Important Note: on Tuesday 07 November 2023, Comhairle nan Eilean Siar experienced a criminal cyber incident and is working with Police Scotland, the Scottish Government and the National Cyber Security Centre to investigate the matter.

The Online Planning Portal remains unavailable as does our suite of integrated software and hardware systems. In order to enable access by the wider public to application documents and consult upon planning applications, interim systems have been put in place on the temporary website of Comhairle nan Eilean Siar, including a rudimentary facility to display a limited number of documents per application.

Any party wishing to view the application file in full may do so at the offices of Comhairle nan Eilean Siar at Sandwick Road, Stornoway Isle of Lewis, HS1 2BW or Balivanich, Isle of Benbecula. HS7 5LA, ordinarily between 9am and 5pm Monday to Friday (excluding public and local holidays). It is recommended that in advance of visiting an office to view an application that you make an appointment by sending an email to planning@cne-siar.gov.uk

45, Newvalley, Isle of Lewis, HS2 0DW

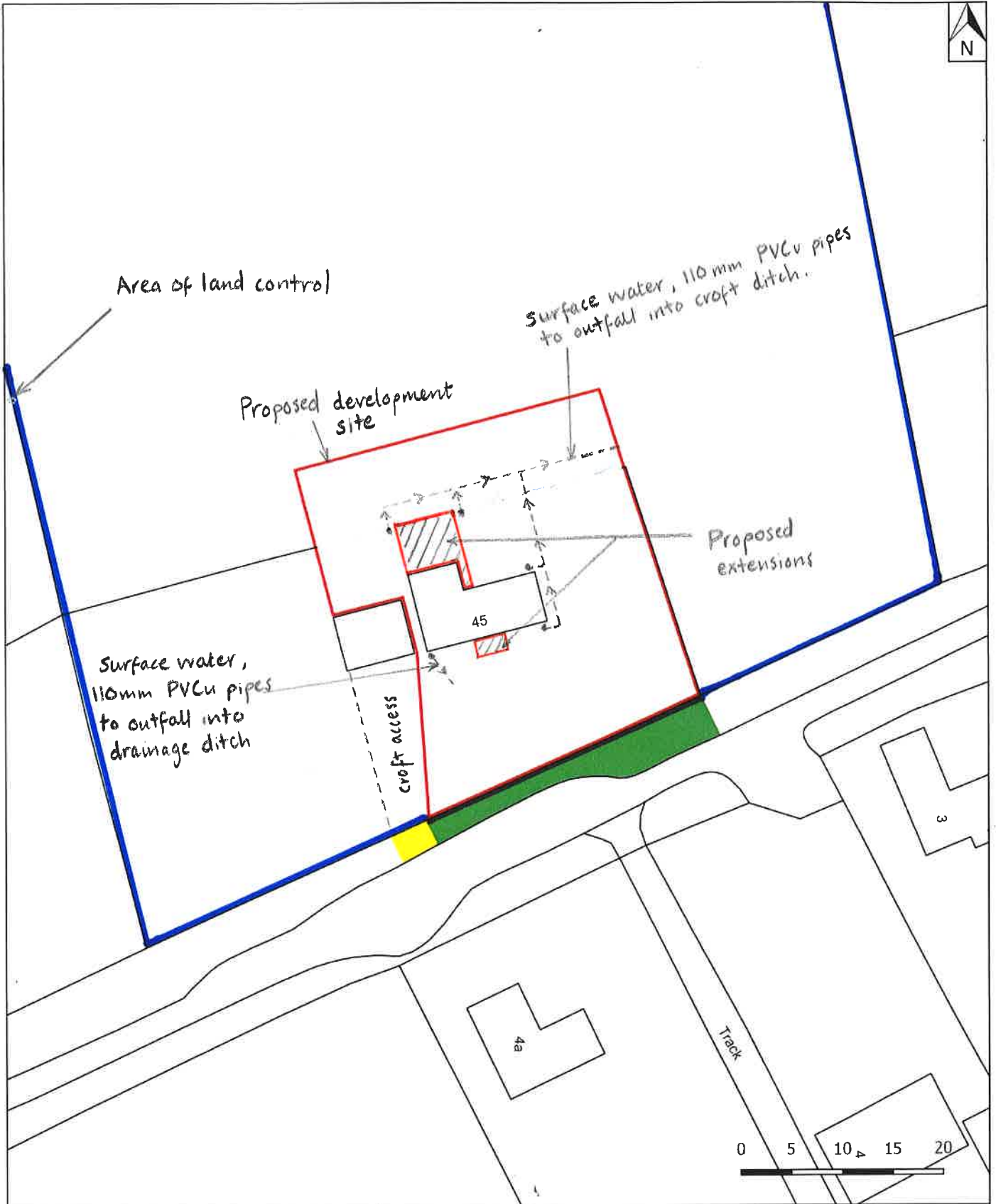


Tel. 0141 221 8884
Email: admin@propertysearchesscotland.co.uk

Nominal Scale: 1:1250 @ A4
Map Center: 141614 935228
Date Issued: 27-07-2023
Our Ref: 24676779
Drawn By : RJolly



45, Newvalley, Isle of Lewis, HS2 0DW



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Nominal Scale: 1:500 @ A4
Map Center: 141665 935170
Date Issued: 08-06-2023
Our Ref: 24676779
Drawn By: RJ

Area delineated in red extends to approx. 0.099 ha



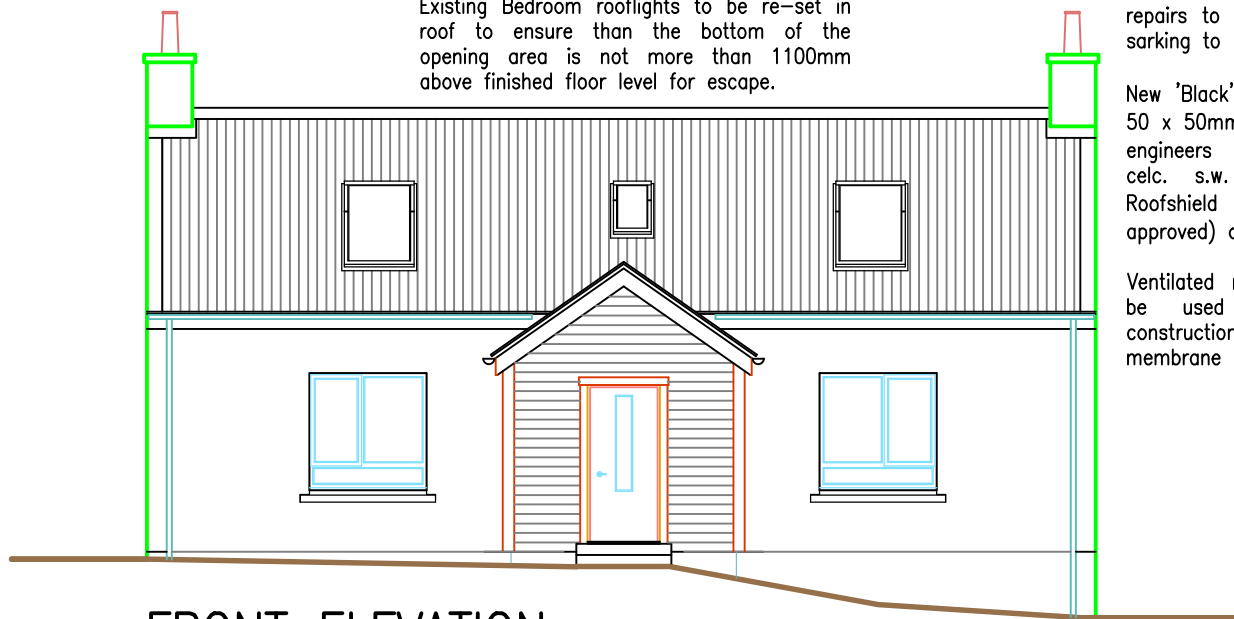
Existing Bedroom rooflights to be re-set in roof to ensure that the bottom of the opening area is not more than 1100mm above finished floor level for escape.

Existing ridge, fibre cement slates and bituminous felt underlay removed. Sarking repairs to be carried out with 22mm thick sarking to match existing.

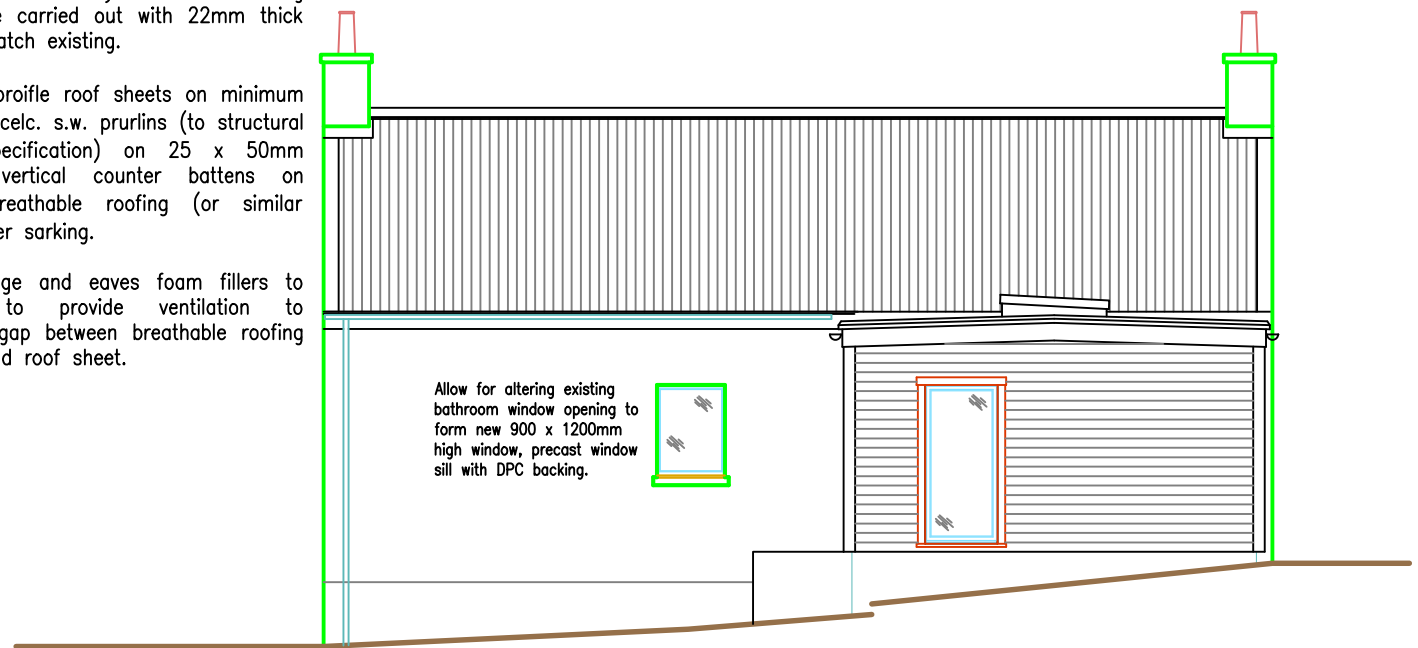
New 'Black' profile roof sheets on minimum 50 x 50mm celc. s.w. prurlins (to structural engineers specification) on 25 x 50mm celc. s.w. vertical counter battens on Roofshield breathable roofing (or similar approved) over sarking.

Ventilated ridge and eaves foam fillers to be used to provide ventilation to construction gap between breathable roofing membrane and roof sheet.

Allow for altering existing bathroom window opening to form new 900 x 1200mm high window, precast window sill with DPC backing.



FRONT ELEVATION SCALE 1:100



REAR ELEVATION SCALE 1:100

External Finishes:

Extension Walls:

Timber frame construction with horizontal blackened larch cladding finish. Concrete block base course to be gray smooth render finish.

Extension Roof:

Alwitra single ply membrane roofing system with rooflight system, colour 'slate gray'.

House Roof:

Box Profile roof sheeting - colour 'black'

Soffit and fascia to be 'black' uPVC

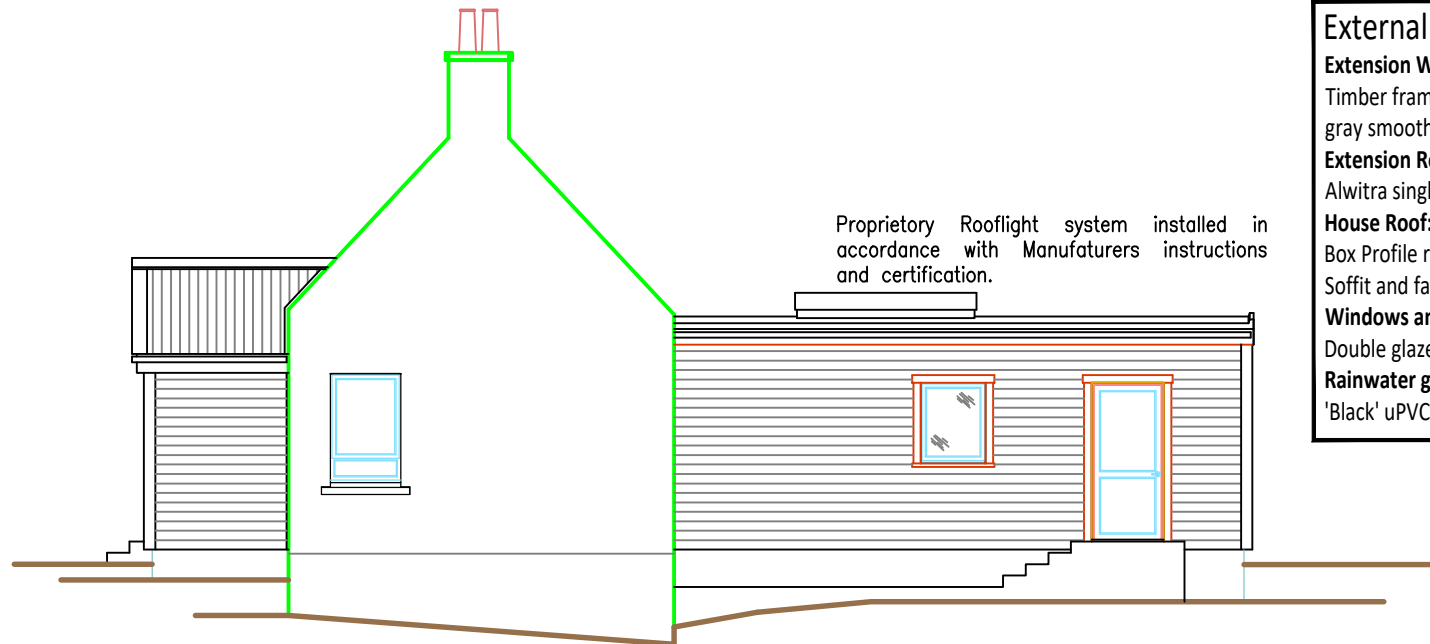
Windows and doors:

Double glazed 'black' uPVC windows.

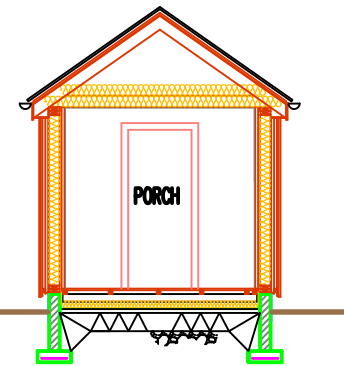
Rainwater goods:

'Black' uPVC deepflow gutters and downpipes.

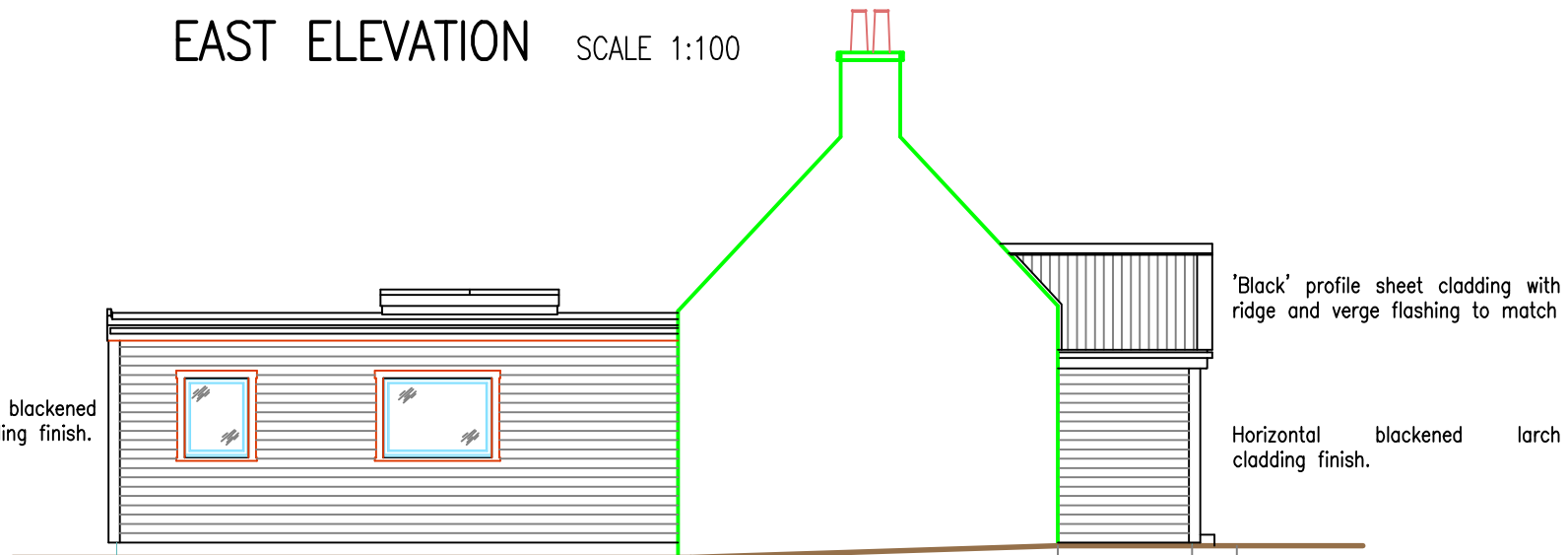
Proprietary Rooflight system installed in accordance with Manufacturers instructions and certification.



EAST ELEVATION SCALE 1:100



PORCH SECTION SCALE 1:50



WEST ELEVATION SCALE 1:100

Horizontal blackened larch cladding finish.

'Black' profile sheet cladding with ridge and verge flashing to match

Horizontal blackened larch cladding finish.

Rev C	Extension length increased by 1m	16/01/24
ref	revision	date

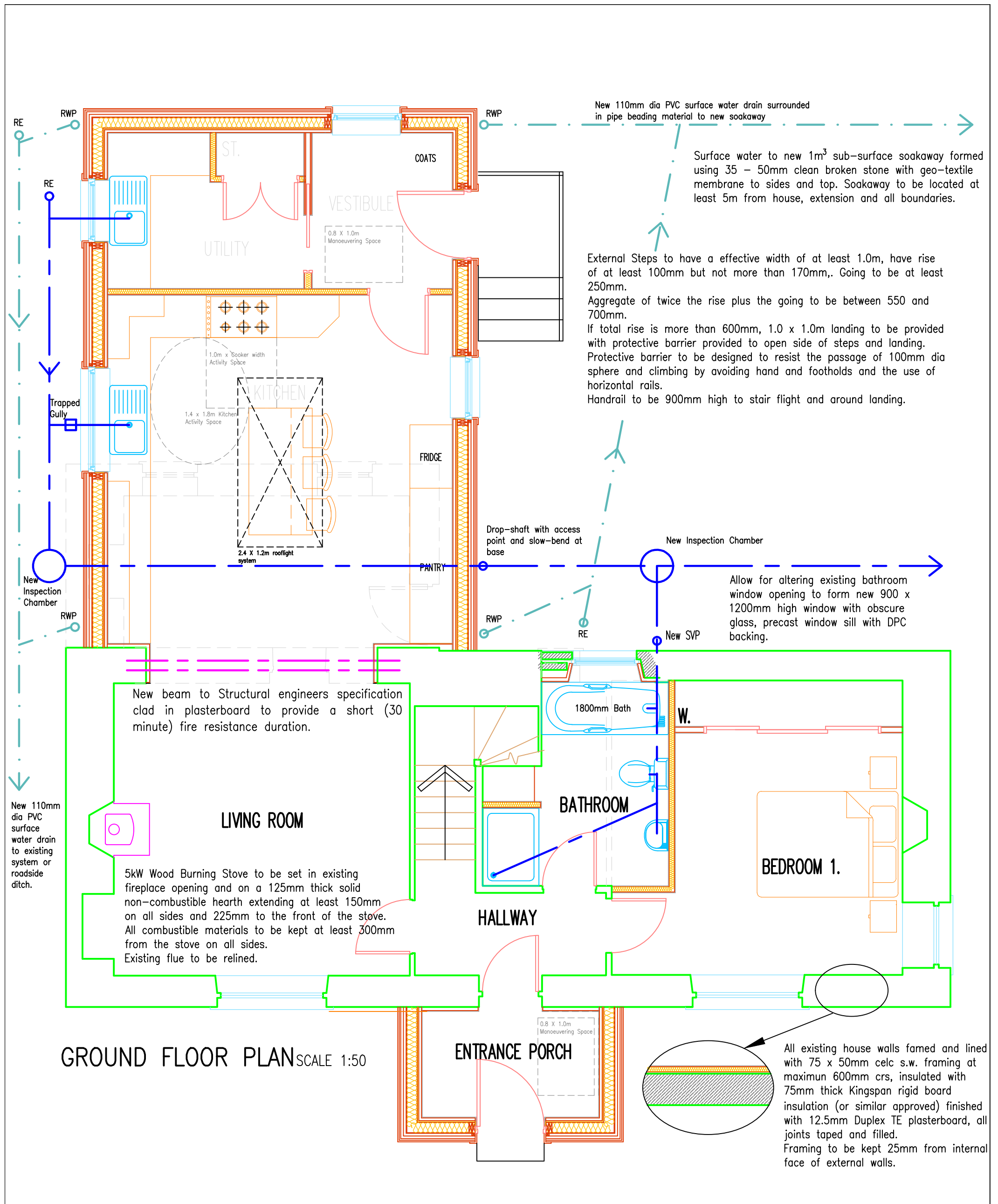
Client
MR & MRS MACIVER-HALL
45 NEWALLEY
STORNOWAY, ISLE OF LEWIS

Job
REFURBISHMENT & EXTENSION

Title
ELEVATION DRAWINGS

scale | 1:100 @ A3
 date | | drawn by

job no.	dwg.no.	rev
	WD-02	C



New 110mm dia PVC surface water drain surrounded in pipe bedding material to new soakaway

Surface water to new 1m³ sub-surface soakaway formed using 35 - 50mm clean broken stone with geo-textile membrane to sides and top. Soakaway to be located at least 5m from house, extension and all boundaries.

External Steps to have a effective width of at least 1.0m, have rise of at least 100mm but not more than 170mm,. Going to be at least 250mm.
Aggregate of twice the rise plus the going to be between 550 and 700mm.
If total rise is more than 600mm, 1.0 x 1.0m landing to be provided with protective barrier provided to open side of steps and landing. Protective barrier to be designed to resist the passage of 100mm dia sphere and climbing by avoiding hand and footholds and the use of horizontal rails.
Handrail to be 900mm high to stair flight and around landing.

Allow for altering existing bathroom window opening to form new 900 x 1200mm high window with obscure glass, precast window sill with DPC backing.

New beam to Structural engineers specification clad in plasterboard to provide a short (30 minute) fire resistance duration.

5kW Wood Burning Stove to be set in existing fireplace opening and on a 125mm thick solid non-combustible hearth extending at least 150mm on all sides and 225mm to the front of the stove. All combustible materials to be kept at least 300mm from the stove on all sides. Existing flue to be relined.

All existing house walls firmed and lined with 75 x 50mm celc s.w. framing at maximum 600mm crs, insulated with 75mm thick Kingspan rigid board insulation (or similar approved) finished with 12.5mm Duplex TE plasterboard, all joints taped and filled. Framing to be kept 25mm from internal face of external walls.

GROUND FLOOR PLAN SCALE 1:50

Rev C	Extension length increased by 1m	16/01/24
ref	revision	date

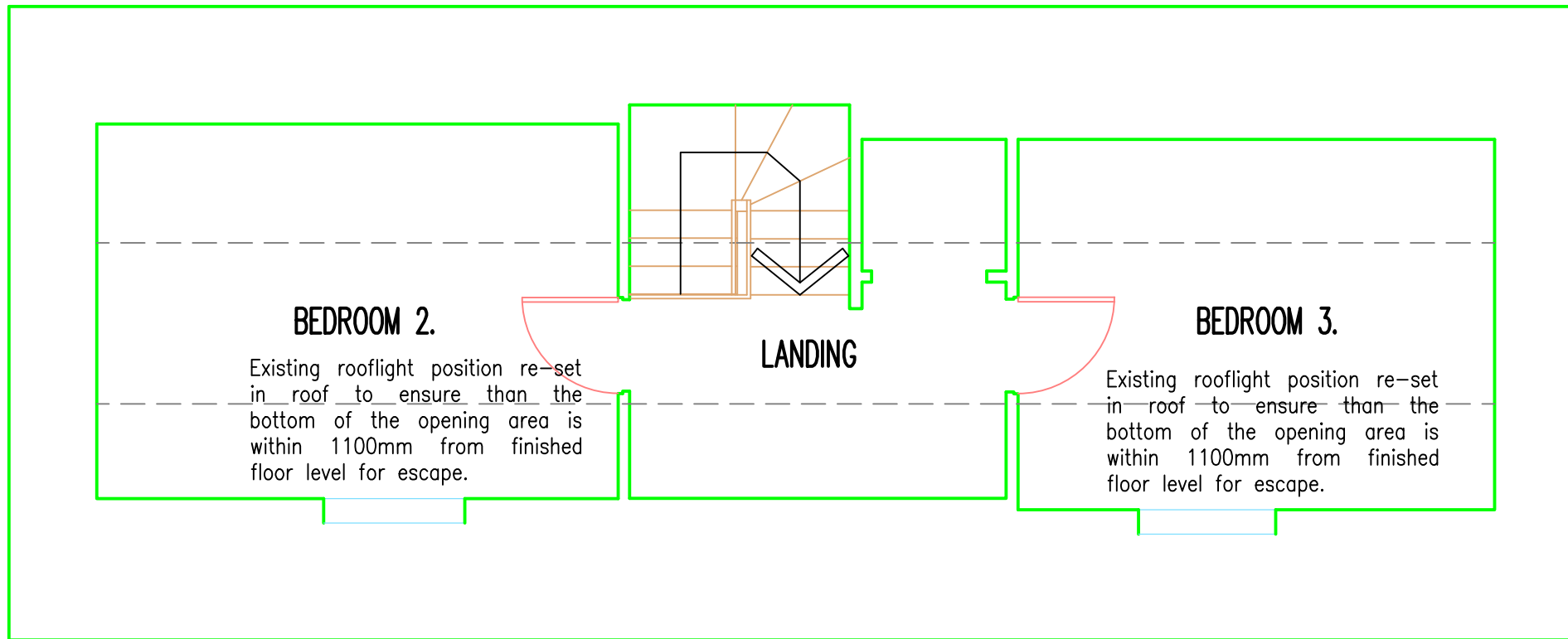
Client
MR & MRS MACIVER-HALL
45 NEWVALLEY
STORNOWAY, ISLE OF LEWIS

Job
REFURBISHMENT & EXTENSION

Title
GROUND FLOOR PLAN

scale | 1:50 @ A3
date | | drawn by

job no.	dwg.no.	rev
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FIRST FLOOR PLAN SCALE 1:50

Rev C	Extension length increased by 1m	16/01/24
ref	revision	date

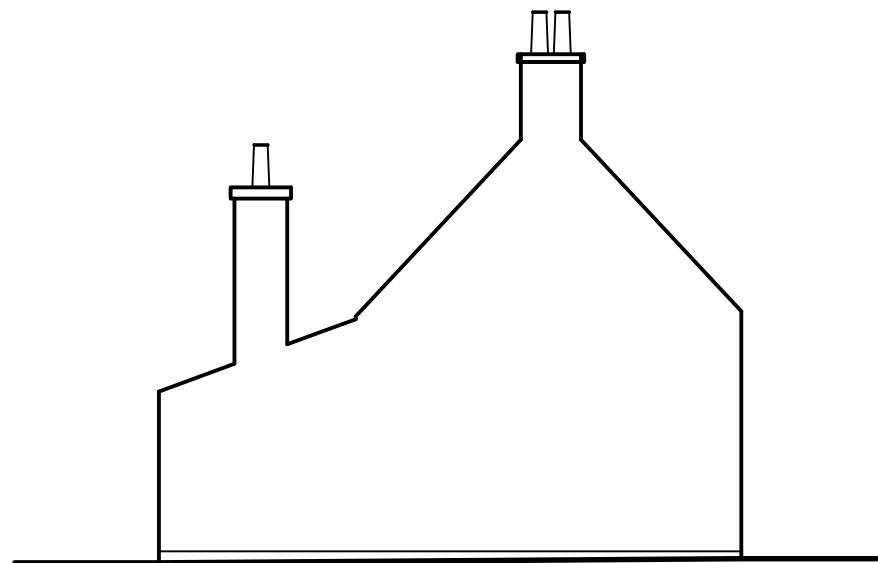
Client
MR & MRS MACIVER-HALL
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STORNOWAY, ISLE OF LEWIS

Job
REFURBISHMENT & EXTENSION

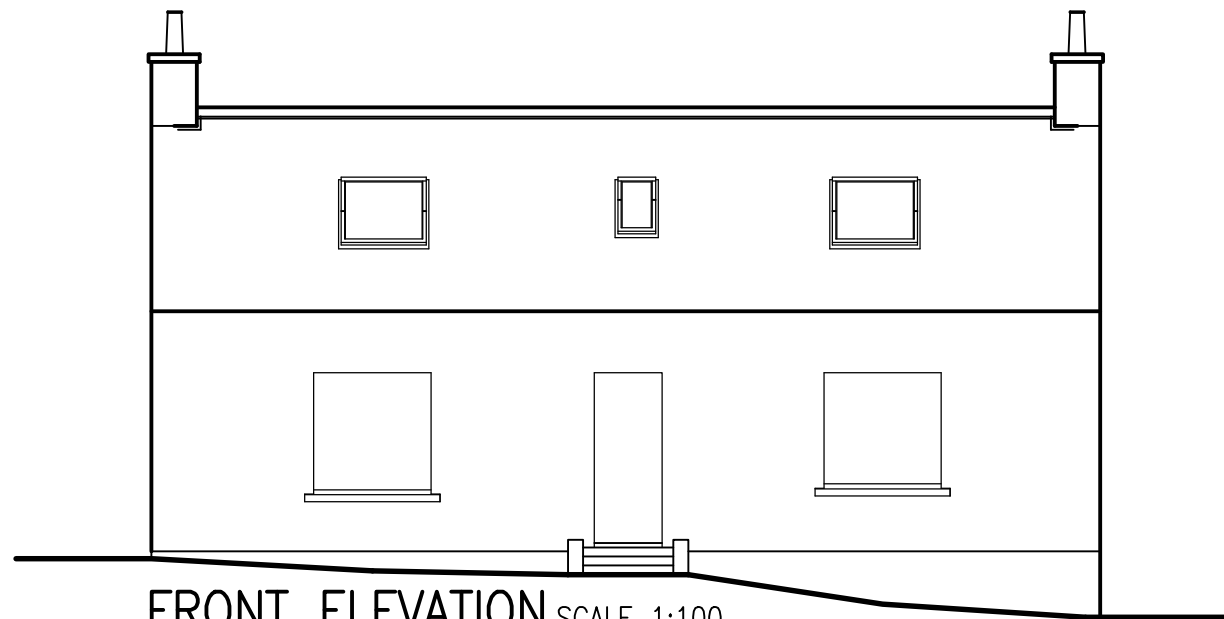
Title
FIRST FLOOR PLAN

scale	1:100 @ A3
date	drawn by

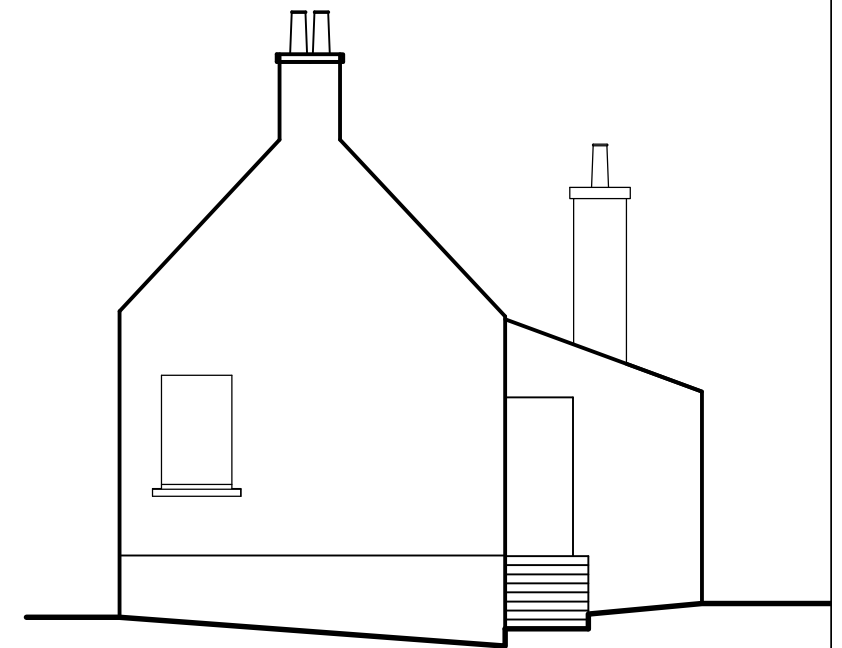
job no.	dwg.no.	rev



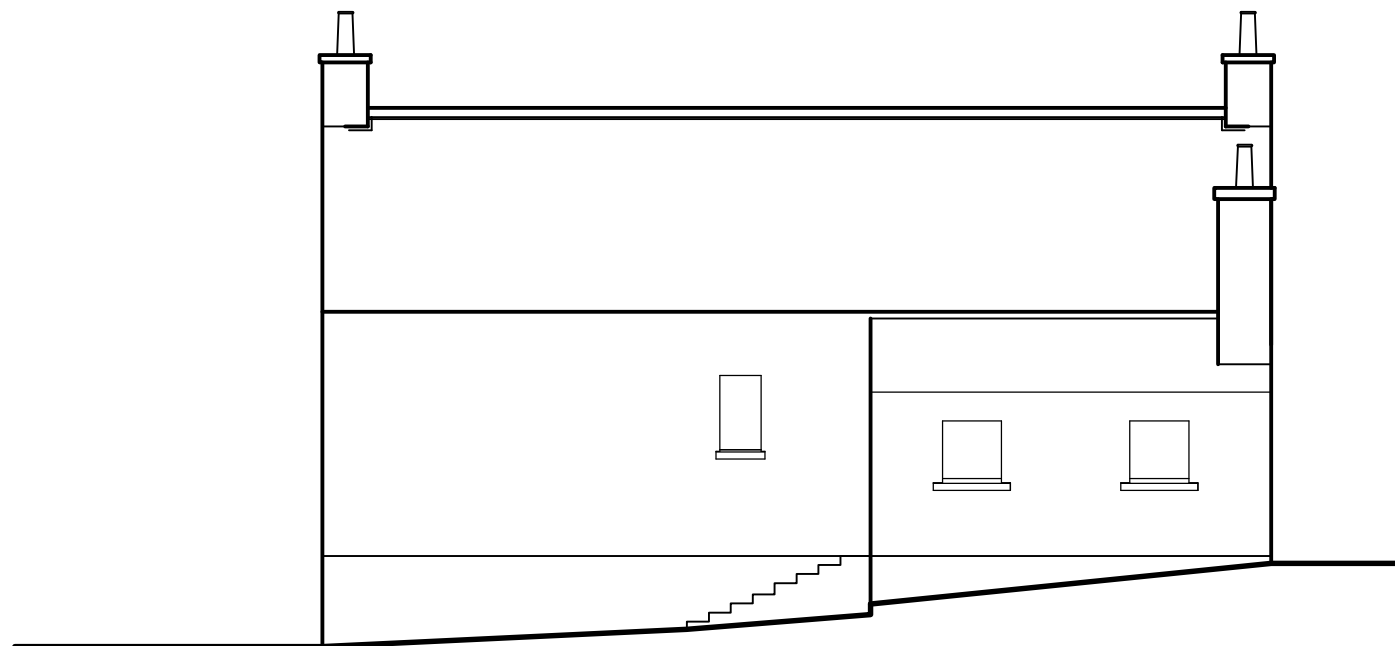
WEST ELEVATION SCALE 1:100



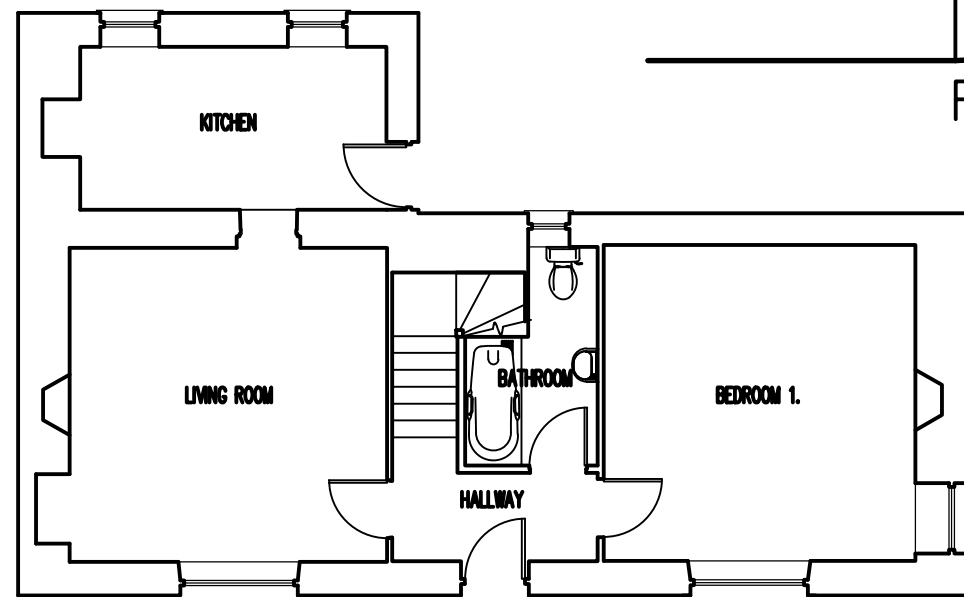
FRONT ELEVATION SCALE 1:100



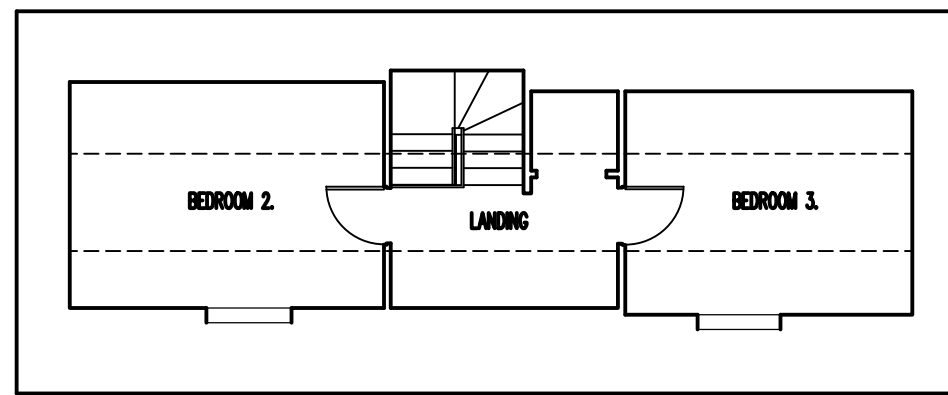
EAST ELEVATION SCALE 1:100



REAR ELEVATION SCALE 1:100



GROUND FLOOR PLAN SCALE 1:100



FIRST FLOOR PLAN SCALE 1:100

ref	revision	date

Client
MR & MRS HALL-MACIVER
45 NEWVALLEY
STORNOWAY, ISLE OF LEWIS

Job
REFURBISHMENT & EXTENSION

Title
SURVEY DRAWING

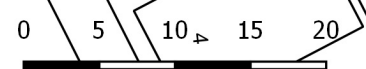
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job no.	dwg.no.	rev
	SD-01	

45, Newvalley, Isle of Lewis, HS2 ODW



3 trees and their associated canopies have been indicated to the front of the property.
No reduction in their canopies is proposed.



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