



COMHAIRLE NAN EILEAN SIAR

The Town and Country Planning Scotland Act 1997 – Section 36(1)

Town and Country Planning General Development Procedure Order 2013 Regulation 16

Planning Register - Part 1

Application Details

Reference Number	24/00084/LBC
Date registered as valid	23/02/24
Description of Development	Renovations and alterations to existing cottage, including thatching, insulation and lining of interior, repair and white wash finish to exterior stone, new timber windows and external doors.

Address or description of location to which the development relates	153 Howmore, Isle of South Uist, HS8 5SH E 075 881 N 836 325
Applicant Name	Ms H Smith and Mr Iain McKinnon
Applicant Address	8A Howmore, Isle of South Uist, HS8 5SH
Agent name (if applicable)	Studio Hebrides Architecture Ltd Per Mhairi Dobbie
Agent address (if applicable)	Oban na Feidh, 19A Locheport, North Uist, HS6 5EU

The above application summary is accompanied by plans and drawings sufficient to describe the development and where relevant any design statement.

Important Note: on Tuesday 07 November 2023, Comhairle nan Eilean Siar experienced a criminal cyber incident and is working with Police Scotland, the Scottish Government and the National Cyber Security Centre to investigate the matter.

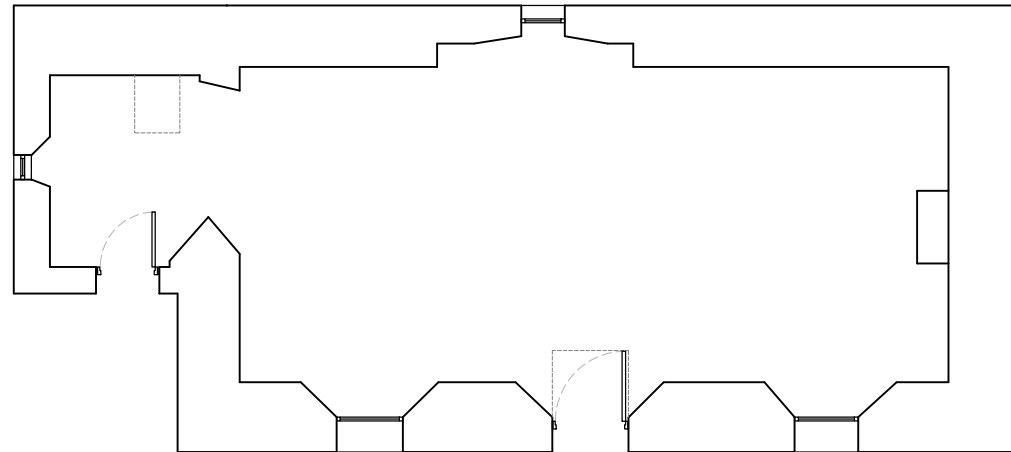
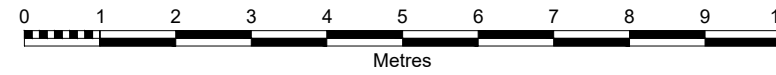
The Online Planning Portal remains unavailable as does our suite of integrated software and hardware systems. In order to enable access by the wider public to application documents and consult upon planning applications, interim systems have been put in place on the temporary website of Comhairle nan Eilean Siar, including a rudimentary facility to display a limited number of documents per application.

Any party wishing to view the application file in full may do so at the offices of Comhairle nan Eilean Siar at Sandwick Road, Stornoway Isle of Lewis, HS1 2BW or Balivanich, Isle of Benbecula. HS7 5LA, ordinarily between 9am and 5pm Monday to Friday (excluding public and local holidays). It is recommended that in advance of visiting an office to view an application that you make an appointment by sending an email to planning@cne-siar.gov.uk

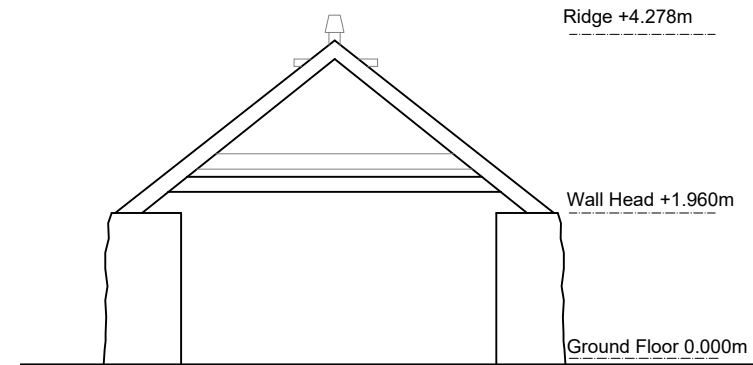
Materials Key;

- 1. Exterior Walls - Natural Stone
- 2. Roof - Formerly thatched - currently timber roof structure with breather paper and battens
- 3. Windows and Main Entrance Door - UPVC white double glazed units
- 4. External Door - Plywood back door
- 5. Lean-to roof - Corrugated metal sheeting

Revision Description:



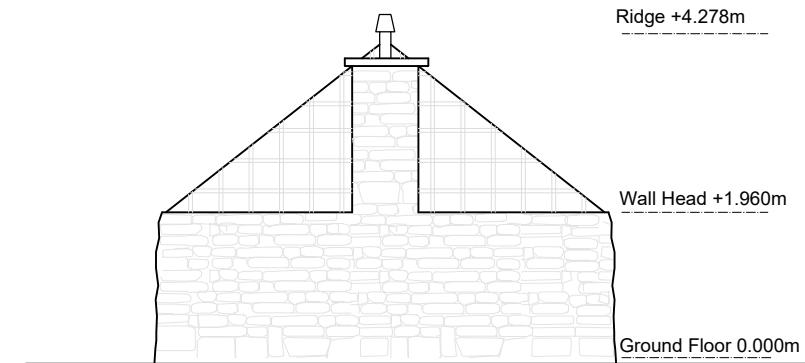
PLAN AS EXISTING 1:100



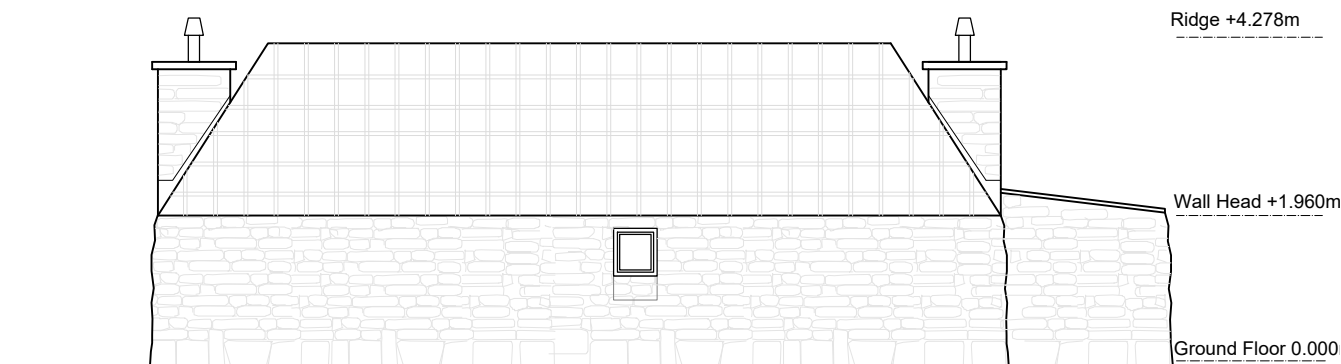
CROSS SECTION AS EXISTING 1:100



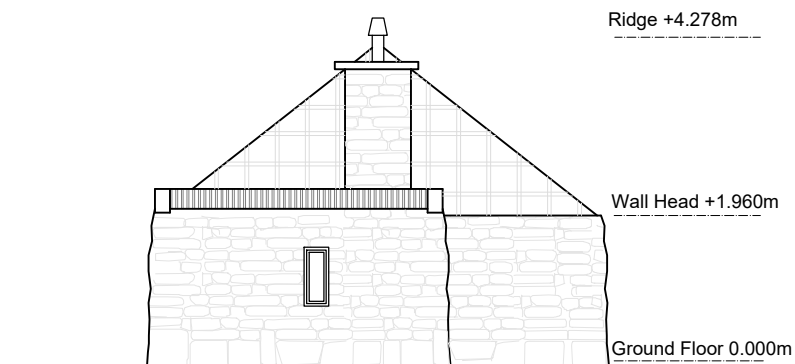
EAST ELEVATION AS EXISTING 1:100



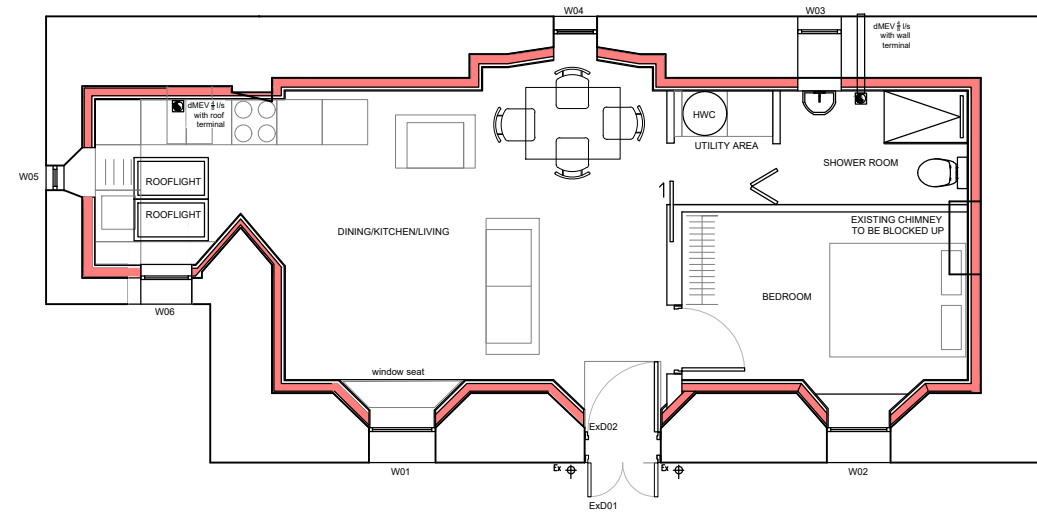
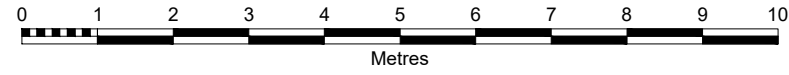
NORTH ELEVATION AS EXISTING 1:100



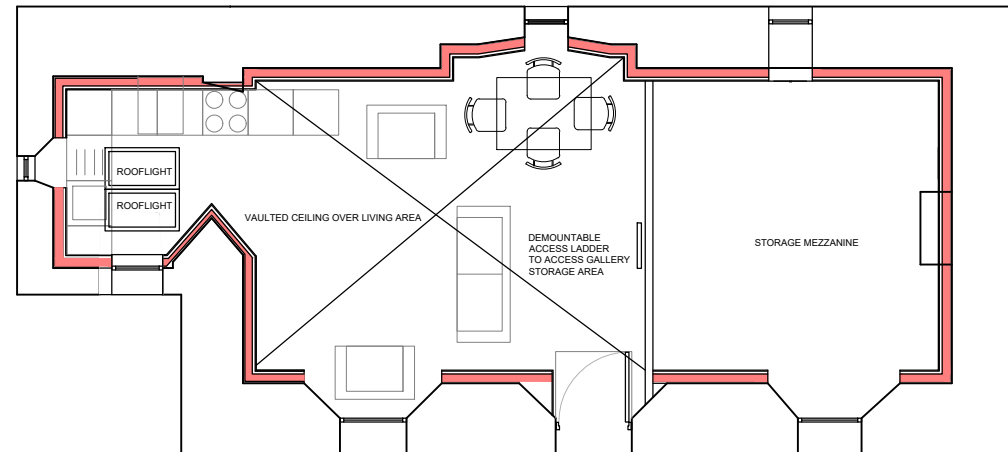
WEST ELEVATION AS EXISTING 1:100



SOUTH ELEVATION AS EXISTING 1:100



GROUND FLOOR PLAN AS PROPOSED 1:100

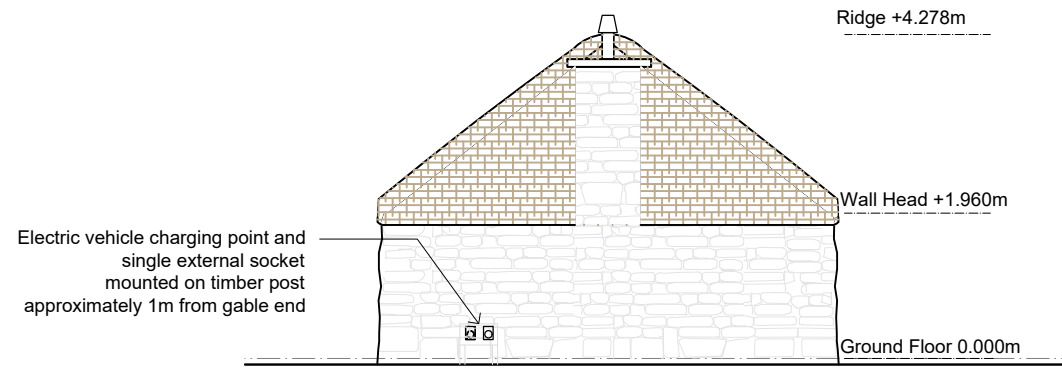


ATTIC PLAN AS PROPOSED 1:100

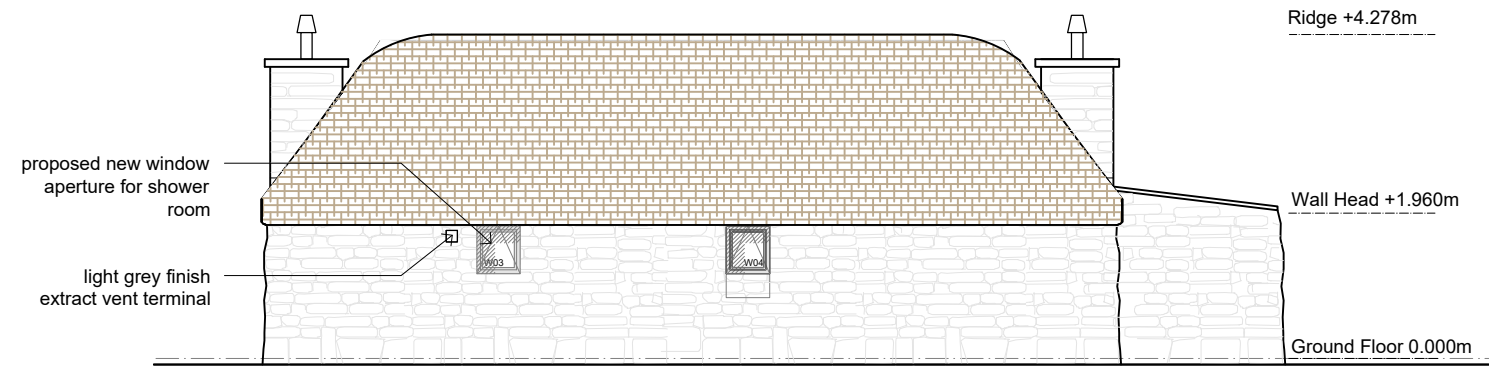
Materials Key;

1. Exterior Walls - Natural Stone with lime based mortar and whitewash finish
2. Roof - Thatched with Heather onto breathable construction
3. Windows and Main Entrance Door - Rational 'Forma' Traditional Timber frame windows finished in RAL 7047 Telegrey 4
4. Main Entrance Door - Timber Panelled Double Doors finished in RAL 3013 Red
4. Lean-to roof - Sinusoidal corrugated metal sheeting - goosewing grey finish - RAL 080 70 05
5. Velux window - anthracite grey finish to exterior - white painted finish to interior frame

Revision Description:



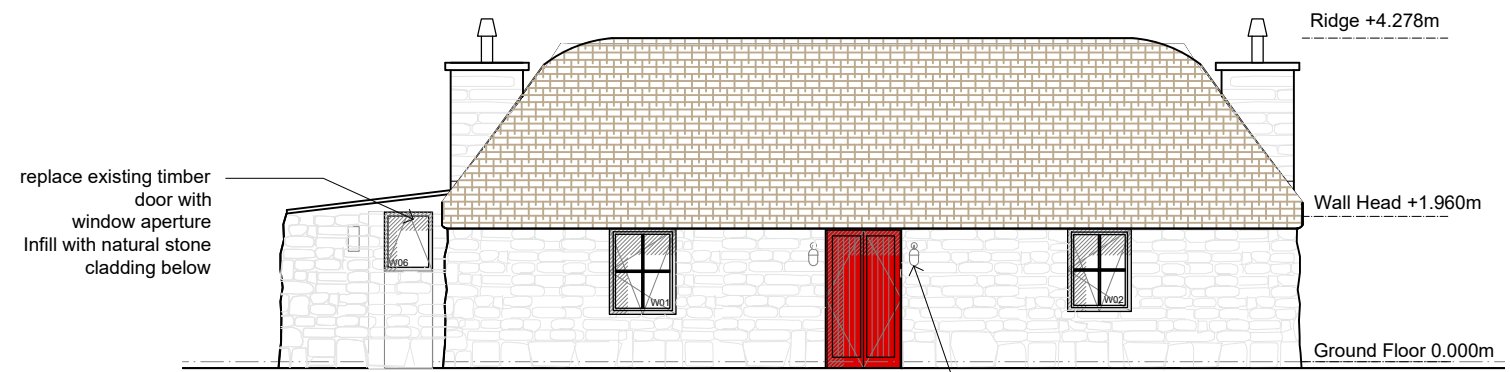
NORTH ELEVATION AS PROPOSED 1:100



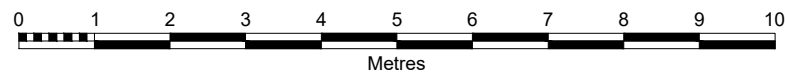
WEST ELEVATION AS PROPOSED 1:100



SOUTH ELEVATION AS PROPOSED 1:100



EAST ELEVATION AS PROPOSED 1:100



NOTE: Sizes indicated are indicative - Contractor to site site prior to order
All glazing below 800mm from FFL to be safety glass.

All windows to be Rational Forma
Traditional Timber Frame Windows and External Door
with min U Value of 1.2 W/m2K.

Minimum performance requirements:

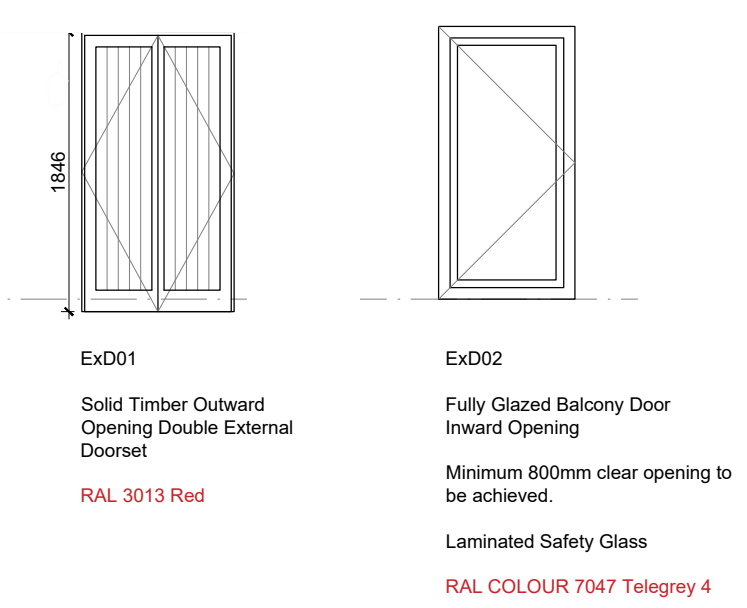
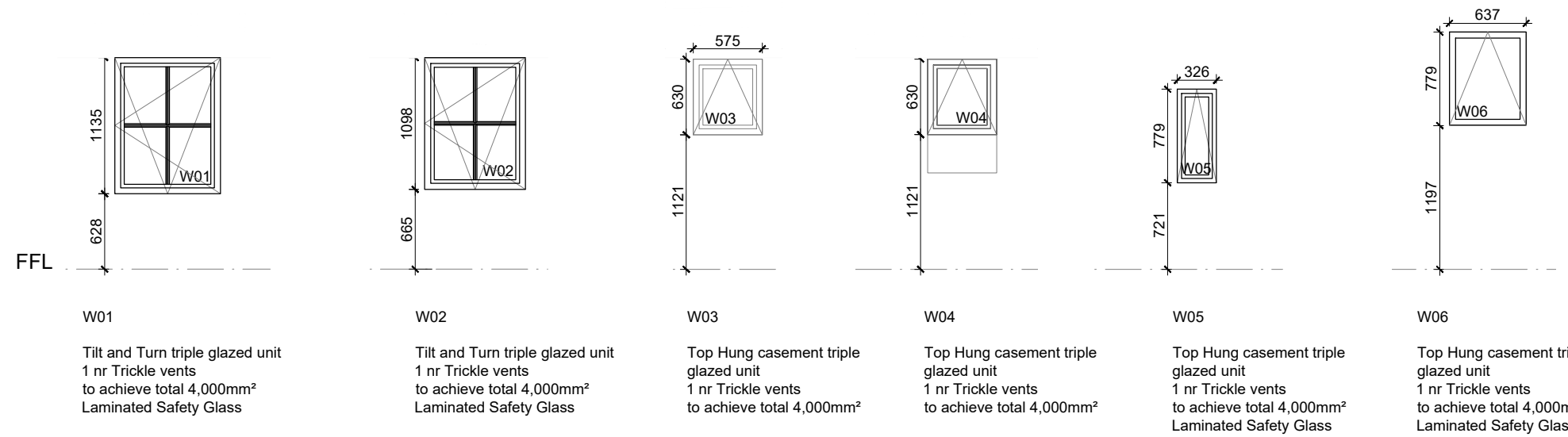
- The windows, doors and fixings should have a minimum resistance to wind load equivalent to Class 4 as defined in EN 12210:2016
- Overall rating to BS EN 6375-1 2400
- *Min air permeability 600pa, min water tightness 600pa and min wind resistance 2400pa*
- The windows should be fixed in accordance with the manufacturer's instructions.
- Fixings are to be with clips /stainless steel nail plates/ angle brackets screwed to panel cripple studs (do not affix only to cladding battens/fire stops);
- Fixings shall be between 150 mm and 250 mm from the external corner, not less than 150 mm from the centre line of a mullion or transom and at centers no greater than 600mm with a minimum of two fixings on each jamb.
- *(Engineer Specification supercedes the above if more onerous)*

Revision Description:

Refer to specification document for window and door product references.

RAL COLOUR 7047 Telegrey 4 Inside and Out

EXTERNAL DOOR RAL3013 Red Inside and Out





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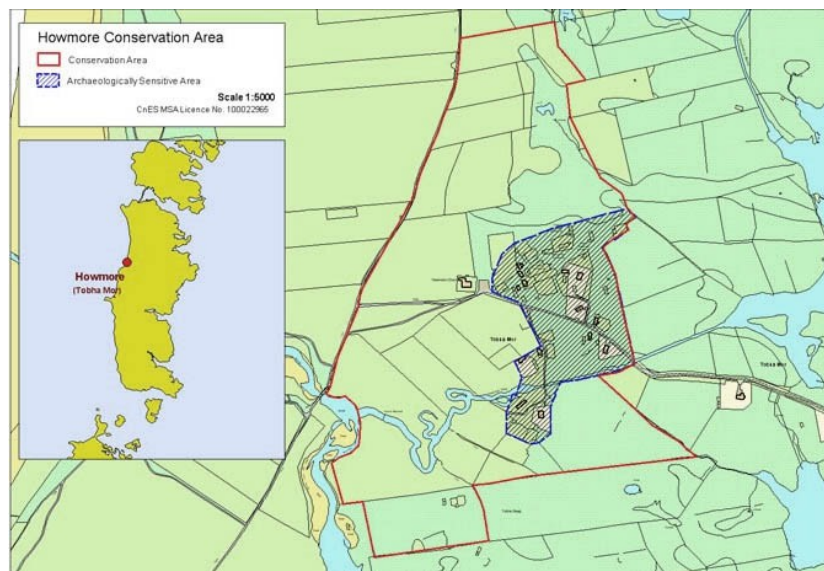
www.studiohebrides.co.uk

20.02.24

Design Statement in support of
Renovation of 153 Howmore, Isle of South Uist

Context

The township of Howmore, Isle of South Uist is located within a Designated Conservation Area. The township features a number of original traditional thatched properties. The property at 153 Howmore was originally a single storey thatched cottage. The thatching was removed and the property was partially renovated a number of years ago. The Applicant would like to complete the renovation works, reinstate a traditional heather thatched roof and insulate and fit out the interior of the cottage to create a one bedroom property.



Site Description

The proposed site lies on the south side of the Howmore Township Road. The existing stone rubble walled cottage is set back from the road and the 'front' elevation is oriented in an easterly direction. The site boundary extends to the boundary of the neighbouring thatched cottage to the east and extends to enclose the stone rubble wall remains to the west. Vehicle access is currently taken directly off the Howmore township road. The site currently doesn't have a formal area of hard standing for vehicle parking. The

building is currently surrounded by moorland grass.



The topography of the site is relatively level. The ground slopes gently towards the south of the site where the foul drainage septic tank is located.

The Existing Building

The existing building is a Grade B Listed stone rubble walled single storey traditional cottage. The cottage has a traditional frontage with a single entrance door and two symmetrical windows to either side of the door. There are two symmetrical chimneys at either end of the front elevation. The chimneys project up from the hipped roof structure and terminate at a slightly lower level than the roof ridge. The rear elevation features one small window which is centrally located. There is a small lean-to porch to the south gable end of the property which is also constructed from natural stone rubble walls.

The roof structure is still intact and is currently sarked and has breather paper and roof battens fixed to the exterior face. The roof was previously thatched prior to this being removed in preparation for renovation a few years ago. The roof covering on the lean-to porch is a profile roof sheeting – this is suspected to partially be asbestos sheeting and/or metal sheeting.

Development of the Site

The proposal is a sympathetic restoration of a traditional Grade B listed thatched cottage that follows the design advice presented in the “Outer Hebrides Design Guide” and the Conservation Area Guidance for Howmore Township.

- The existing apertures in the main cottage are to be retained and not altered. A new small rear facing window is to be added to create daylight and natural ventilation for the proposed shower room. The size and proportion of the new aperture is designed to match the existing rear facing window.
- The roof shall be reinstated and thatched in heather using traditional methods on a breathable roof build up.
- The existing stone rubble walls shall remain unaltered and it is proposed that a traditional white wash finish shall be applied to the stone.
- The rear porch door is to be partially blocked up in stone rubble to match the finish on the exterior walls. Mortar shall be lime mortar for all new areas of stone. A small window aperture will be installed in the existing opening in place of the exterior door.
- The existing stone lean-to will have its profile roof sheeting removed and replaced with new sinusoidal profiled metal roof sheeting in a 'Goosewing Grey' colour to match the existing colour as closely as possible.
- The chimneys shall be retained albeit they will no longer be in use as there is no solid fuel appliance

proposed for the house. Each chimney shall be blocked up on the interior however they shall be retained for visual symmetry on the exterior.

- The vehicle access and parking area shall be taken directly off the Howmore township road. The access track and parking shall be configured in line with the Planning Dept design guidance for road access.
- The interior of the cottage shall be insulated with a new timber stud frame structure. A new vapour barrier shall be installed and the interior walls finished in plasterboard lining for a paint finish.
- The floor shall also be insulated and damp proofed prior to laying of new floor coverings.
- New kitchen and shower room fittings shall be installed.

Services

Public utilities do not adversely impact on the development of the site. Water and electricity connections exist within the development at present. The proposal includes for connecting the foul drainage outlets into the existing septic tank as indicated on the site plan.

A timber slatted bin storage area is located discreetly to the east side of the site.