



Outer Hebrides Local Development Plan
Supplementary Guidance:
Conservation Area Management Plans

November
2018

Comhairle nan Eilean Siar



Outer Hebrides Conservation Areas

● Conservation Area

CrES MSA Licence No. 1000229965





Outer Hebrides Local Development Plan Supplementary Guidance: Conservation Area Management Plans

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CONTEXT

This supplementary guidance provides the detailed policy approach for the management of Conservation Areas in the Outer Hebrides. The designated Conservation Areas are in Stornoway, Gearrannan, Ruisgarry, and Howmore.

Conservation Area Appraisals have been prepared for each designated area and these provide the framework within which the Conservation Area Management Plans have been produced. Each Management Plan is set out with guidance for repair and restoration of existing buildings as well as for new development within the Conservation Areas.

The Management Plans provide detailed guidance on developments within designated Conservation Areas, including listed and non-listed thatched buildings.

Local Development Plan Policy NBH6: Historic Areas (Conservation Areas) states:

There is a presumption in favour of the preservation of individual historic assets and the pattern of the wider historic environment. Proposals in a Conservation Area will be assessed with the aim of protecting, conserving and where possible enhancing the built, and natural environment.

Development

Only applications for Planning Permission in Detail with full plans will be acceptable for consideration of proposed development in any Conservation Area. Developers will be expected to demonstrate how the proposal enhances or preserves the appearance or character of the Conservation Area and with the relevant Conservation Area Management Plan. The Management Plans are contained in the Conservation Area Management Plans Supplementary Guidance which forms part of the Local Development Plan.

Proposals will be assessed against all of the following:

- a) the scale, form, proportion, materials and detailing must respect the characteristics of the historical setting;
- b) the plot layout, density and height must reflect and respond to the buildings, pattern and distinct characteristics of the area;
- c) historically significant boundaries and other elements contributing to the established pattern of development in the area must be retained and, where possible, enhanced;



- d) undeveloped spaces important to the character and historic value of the Conservation Area, including those within individual curtilages, are protected and, where possible, enhanced;
- e) important views within, into and out of the Conservation Area are protected;
- f) landscape features and landmarks contributing to the character and appearance of the Conservation Area are protected.

Any proposal assessed to have a negative effect on the Conservation Area and its setting will not be permitted.

Where a redundant or derelict building is proposed to be brought back into use a Conservation Plan should be provided which sets out the significance of the building and what measures will be adopted to maintain it and safeguard its significance in the future.

Conservation Area Consent

No historic asset within a Conservation Area should be lost without adequate consideration of its local significance and that all means available to manage, conserve and achieve a sustainable use for it have been fully investigated and considered before proposals to demolish are seriously investigated.

Where the demolition of an unlisted building is proposed within a Conservation Area, Conservation Area Consent must be applied for. A Conservation Area Consent application will be assessed against the criteria for the demolition of listed buildings, as set out in Policy NBH4.

For demolitions in a Conservation Area there must be acceptable proposals for the development of the cleared site.

Consideration will be given to the importance of the building itself and how its loss will impact on the appearance and character of the Conservation Area and its setting. Demolition of building(s) in a Conservation Area will normally not be supported, unless:

- a) it can be demonstrated that the demolition will result in no harm to the character or appearance of a Conservation Area or part of it; or
- b) it can be demonstrated that its structural condition rules out retention and conservation at reasonable cost; or
- c) its form or location makes it difficult to bring back into use.

Policy NBH4 will also apply where works to thatched buildings within Conservation Areas are proposed.



Local Development Plan Policy NBH4 Built Heritage (Thatched Buildings) states:

Where works are proposed to thatched buildings, either listed or located within a Conservation Area, it is required that they are restored to their original style. Where planning permission is required for unlisted thatched buildings within a Conservation Area, restoration of the roof in a traditional manner is preferred.

All roof restoration measures will be required to reflect the local traditional style of thatched roof including pitch, ridge and eave details and where appropriate the use of skylights. Where it is considered necessary the use of sarking boards or a layer of building paper will be permitted however the use of felt will not be acceptable.*

*Locally sourced (i.e. Outer Hebrides) thatching materials should be used and the use of imported material from outwith the Outer Hebrides will be strongly discouraged** unless it can be evidenced that local materials are not available.*

Sympathetic alterations and extensions to the original thatched building will also be considered acceptable where these will give the building a viable future.

The use of solar panels or photo voltaic panels is not appropriate on thatched buildings. However, such installations, where discreetly sited separate from the building or on an extension, may be acceptable where the impact on the site is sufficiently minimised.

**Sarking is defined as individual boards (not sheet or foil covered materials) – a minimum of 5mm between boards is advised.*

***Guidance for the Historic Environment Scotland Thatched Buildings Maintenance Grant scheme states that material should preferably be sourced locally.*

STORNOWAY CONSERVATION AREA MANAGEMENT PLAN

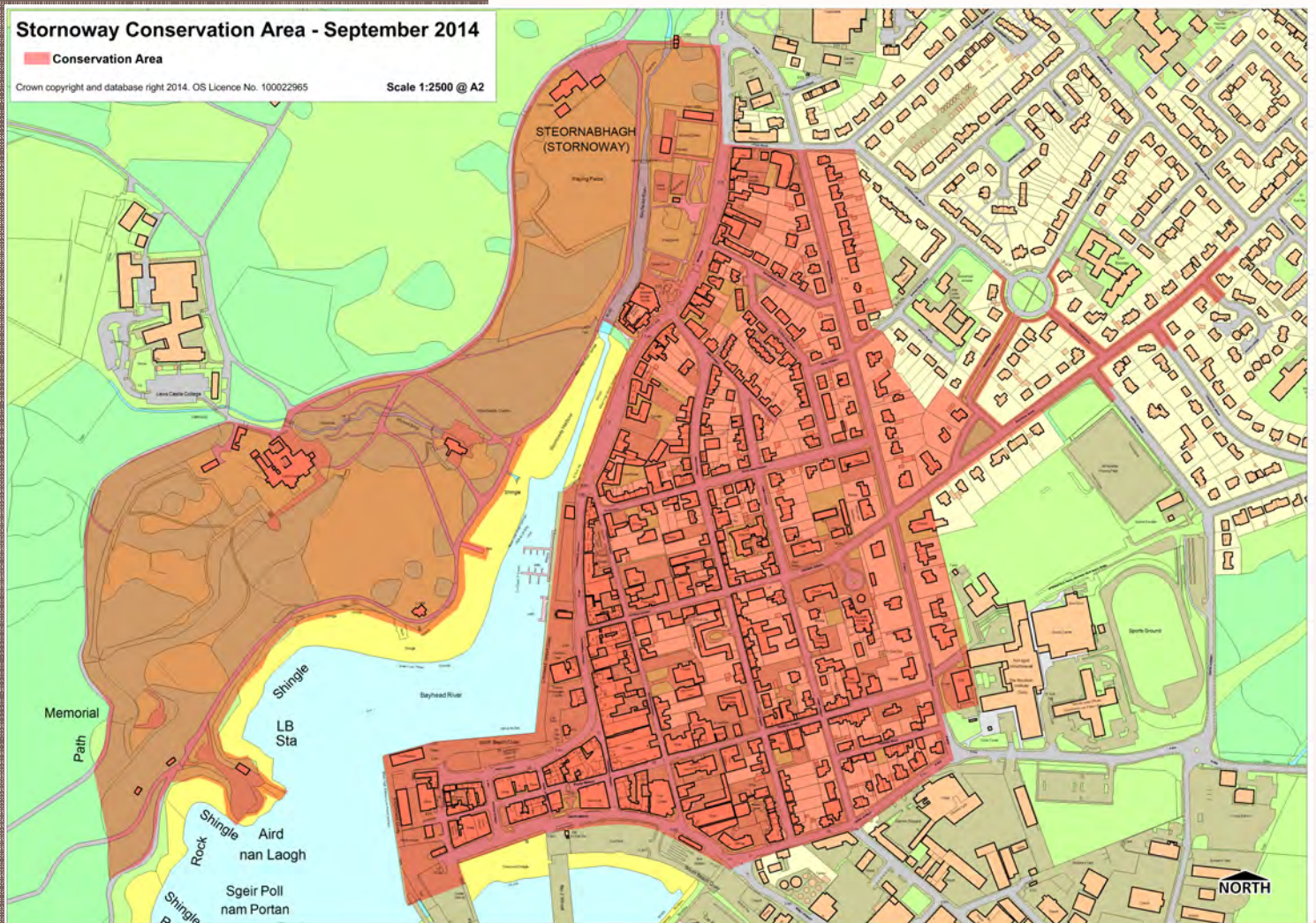
The Stornoway Conservation Area Character Appraisal identified three separate areas within the conservation area each with its own character:

Lews Castle and policies;

Predominantly residential area to the North and East;

Harbour and Town Centre.

These are a means of identifying the different parts of the Conservation Area.





A. RESTORATION / RENOVATION OF EXISTING BUILDINGS

1. ROOFS & ROOF ELEMENTS

Chimneyheads and chimney cans

The demolition of chimneyheads will not be permitted unless it can be demonstrated that their retention will give rise to significant danger to the building's users or cannot be repaired at reasonable cost and will not result in any significant loss of character to the building or surrounding area. Where these elements of the roofscape require to be taken down because their condition merits it due to decay or structural instability, sound material should be retained and incorporated in any rebuilding, which should match the appearance of the original feature. Where chimneyheads have been rendered in modern decorative renders such as pebbledash, consideration will be given to restoring earlier known historic finishes. Thackstones should always be retained.

Chimney cans should always be retained in position wherever possible, and where they are beyond repair they should be replaced with replicas in style, material and colour. Where redundant, cans should be fitted with unobtrusive ventilating caps.

Roof ridging

Early examples of stone ridge tiles should always be preserved, and where decayed should be renewed in matching stone. Lead ridging should always be preserved and repaired, or replaced where defective; there will be a presumption against replacing ridging with modern alternatives, and consideration will be given to restoring earlier finishes where they have been replaced.

Skews, Skewputts and Crowstepped gables

All original skews, skewputts, crowsteps and other decorative treatment to gables including wallhead dormers should be retained; where problems of water penetration are occurring efforts should be made to resolve the problem by repointing open joints or by the introduction of concealed but effective damp membranes. Only as a last resort should the feature be covered in lead to preserve it in situ, and where the features have been removed consideration should be given always to reinstating them.



Low pitched or lead flat roofs

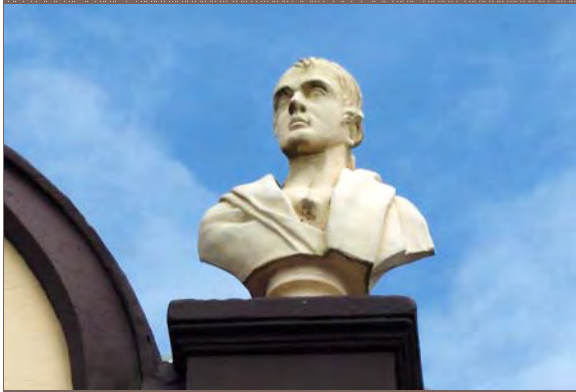
Lead or copper roofs should always be retained in situ and repaired: replacement with modern proprietary materials will only be permitted in exceptional circumstances where the cost is excessively prohibitive and no loss of historic character will result if a more cost effective solution is proposed. Where roofs have failed and are beyond repair, they should be replaced in matching material laid to modern standards. Low-pitched roofs of buildings of the interwar years should be replaced in material matching the authenticity of the original materials, such as multi-layer bitumen felt, or liquid asphalt. These requirements apply equally to dormer roofs. Where original materials have been replaced by modern alternatives, consideration should be given always to returning the roofs to an earlier known state. Any new decking to support these materials should not be visible.

The use of high performance modern membrane systems as an alternative to bitumen felt or liquid asphalt will only be acceptable where:

- a) no part of the roof is visible from ground level, including flashings; and
- b) large areas of roofing are not overlooked by other properties in the Conservation Area.

Pitched Roof Coverings

All roofs of West Highland or Scottish slate should be preserved and repaired, and where roofs are beyond reasonable repair they should be re-roofed in matching salvaged material, or in new slates that match the colour, texture, thickness and coursing pattern of the original roofing. Where the condition of the roof necessitates it the existing slates should be removed and as many reclaimed as possible. The reclaimed slates should be laid on the public or most prominent part of the roof and replacements (closely matched) for the slates lost laid on the least prominent part of the roof. Renewing roofs in alternative materials, or in machine dressed Spanish or Welsh slates will not be permitted unless these can be shown to be an acceptable close match to the original roof and where roofs have been so treated in the past consideration should be given always to restoring the original finishes.



Slated roofs of the interwar years, and thereafter, should be repaired and replaced in matching material.

The introduction of roof ventilators will not be permitted which affect the character of traditionally slated roofs; alternative methods of achieving ventilation of roofspaces should be sought.

Corrugated iron roofs should be retained and repaired and should always be re-roofed in matching material. Where painted the material should be decorated in traditional colours.

Rooflights

All traditional cast iron rooflights in 'non-living spaces' should be retained and these should be repaired and preserved in their original position. Where new rooflights are introduced, they should be as few as are necessary, kept as unobtrusive as possible, and should not be oversized. In symmetrical elevations consideration should be given to ensuring that the positions of rooflights are balanced with the overall composition of the façade. Conservation rooflights, with appropriate subdivision, are preferred to rooflights with single panes, unless the units are small in size. Wherever possible new rooflights should be confined to the reverse slopes of roof, and should be kept as low as possible in relation to the roof finish.

Dormers

All traditional dormers should be retained as found, and repairs should be carried out in like materials. Refacing with modern materials such as PVCu will not be permitted. Consideration should be given always to restoring earlier finishes and the profiles of dormers where these have been changed in the past.

Infilling between dormers, or the formation of attic accommodation by the introduction of flat-roofed box dormers, will not be permitted.

Decorative finials and sculpture

All decorative finials and sculpture at high level, whether of stone, cast stone, terracotta, wrought or cast iron, or timber should be conserved in situ at high level and should not be removed.



Bargeboards

Bargeboards, gable fretwork and decorative framing should be preserved, repaired and painted in traditional colours. The removal or replacement of these features in modern materials such as PVCu will not be permitted. Replacement in timber will be permitted where replacement is necessary due to the failing condition of the original fitting.

2. RAIN/WASTEWATER SYSTEMS

Original cast iron rainwater goods, including brackets and other decorative features, should always be preserved, and where repairs are required and sections cannot be saved they should be replaced with matching sections. Substitution by modern materials such as PVC or aluminium will not be permitted, and where systems have been affected in part, or replaced in their entirety, consideration should be given to restoring the original installation.

Where pipework disfigures walls, consideration should be given always to restoring the original arrangements.

Soil and vent pipework

Surface soil and vent pipework should always be routed inside the building, and where terminals are required they should be located on reverse roof slopes away from street elevations. New systems in any material defacing historic properties will not be permitted.

3. WALLS

Lime harling and renders

Lime harling, and limewashed finishes should be preserved wherever practicable. In buildings erected prior to 1850 there will be a presumption towards reharling in lime based mortar finished in an authentic limewash unless it can be established by detailed analysis that other materials or wall finishes existed. Where lime harling has been replaced by modern cement-based coatings or proprietary renders consideration should always be given to restoring earlier finishes.





Smooth renders and stucco

Decorative architectural stucco or rendered surfaces together with the associated features of margins and blocked quoins should be preserved; where repairs are required they should be undertaken in matching mortar. Consideration should be given always to restoring lost architectural detail where this is missing or has been interfered with in order to secure the integrity of the original design.

Ashlar stone walling

Ashlar masonry should be preserved wherever possible with a minimum of intervention. Repairs should be undertaken by indenting new stone where defective, and where necessary repointing only with lime putty mortar. The painting of external walls or stone cleaning or widening joints by any means to receive pointing, repointing in cement based mortars or carrying out plastic repairs in proprietary repair mortars will not be permitted. Consideration should be given to removing cement coatings where these have been applied, but only after a risk analysis having been carried out of the potential for harming the underlying surfaces when removing this later material.

The application of proprietary weatherproof sealants, or silicone, to surfaces of masonry structures will not be permitted as they can accelerate the processes of decay and lead to unexpected problems with historic fabric. This will apply to all masonry walling materials, including brick.

Rubble stone walling

Stone rubble walling should be preserved and repaired with mortar to match the historic mortars. Care should be exercised in determining if this had been lime or cement originally. Pointing should match the original work and should not change the appearance of the wall. Coating stone rubble walls of any period with modern or proprietary cement based renders or harling will not be permitted.



Brick

Existing brick used as a facing material should be preserved and repaired. Demolition, or coating them with modern cement based or proprietary renders will not be permitted unless the facing of the brick has deteriorated to a point where severe spalling is occurring. Repointing should be carried out carefully so as to match the colour, appearance and composition of the original mortar, but where sound the mortar should be left as found. If replacement bricks are required they should be handmade to match the colour, face dimensions and composition of the original brick units.

Where modern renders have been applied to facing brickwork consideration should always be given to its removal and restoring the original wall surface and pointing, although the removal of the coating should be subject to analysis of risk as to the potential to cause damage to the original surface.

Corrugated iron and timber cladding

Surviving examples of Stornoway's early industrial heritage should be preserved, and where redundant compatible new uses supported; existing wall cladding, such as corrugated iron, or vertical timber boarding, should be preserved in situ, and where repairs are required these should be carried out in matching material and to profiles to match the original work.

Decorative wall treatments

Carved work in stone should be carefully conserved, and if appropriate the advice of conservators should be sought. The use of plastic repairs in dense mortar of any kind will not be permitted, and where possible lost or eroded carvings should be renewed by indenting matching material.

Architectural features run in concrete or cement should be preserved, and repaired in like materials to match the existing moulded profiles. Removal of them, either in whole, or in part will not be permitted. Where they have been removed, or interfered with, consideration should be given to reinstating them for reasons of authenticity and architectural integrity.

Date-stones are important indicators of civic pride, and should be preserved in their original state. Removal or covering by the application of modern wall coatings will not be permitted.



4. USE OF COLOUR

The application of colour to wall surfaces where previously decorated will be encouraged. Colours that are too strong in hue can have a detrimental effect overall, particularly when in contrast with one another; occasionally strong colours can be justified where providing a focus to a group of buildings, and for the sake of variety. Paints should be compatible with historic fabric, and should not be impermeable masonry paints. Earlier surfaces, such as lime harling, should be coated only in limewash, which may also be self-coloured. In rare cases the application of limewash to buildings faced in ashlar masonry may be acceptable, but otherwise these should remain unpainted. Where quoins and other features of concrete or cement may be blocked (proud of the wall surfaces) contrasting colours may be appropriate.

External wall surfaces should not be coated with proprietary self-coloured, textured coatings.

Eaves Boards and Wallhead Treatments

Traditional wallhead treatments should be preserved and repaired in like materials to match existing profiles. The removal of timber overhanging eaves and renewal in materials such as PVC will not be permitted, and woodwork should always be painted, not stained or varnished.

The use of flush eaves boards where none existed previously will not be acceptable.

5. DECORATIVE METAL WORK

Decorative metalwork, such as brattishing should be preserved and repaired. Thorough preparation of paint surfaces should be undertaken to prolong life and to prevent rusting. Where elements cannot be saved original patterns should be replicated.

6. DOOR AND WINDOW OPENINGS

Wall openings

Original openings should always be preserved, and widening of windows to create picture windows or to change proportions will not be permitted. The removal of mullions will not be permitted, and where these have been removed consideration should be given to their reinstatement in order to maintain the unity of the streetscape.



Decorative wall treatments around window and door openings should always be preserved and repaired, having regard to traditional decoration where this had been incorporated in the past.

Traditional timber windows

Traditional timber windows should be retained. Individual sashes or window frames should be repaired always in preference to replacement. Where windows are beyond repair, replacements should match the original work in terms of materials, mouldings, astragal sections and patterns. Standard stock mouldings will not be acceptable. Clear varnishing or staining in modern timber stains should be avoided and windows should normally be painted unless evidence of past historic finishes suggests otherwise. Consideration should always be given to reinstating original patterns of windows where they have been lost, in the interests of preserving the authenticity of the Conservation Area. Where windows were multi-paned originally consideration should be given to reinstating the astragals where it is important to restore the architectural integrity of the façade.

Traditional sash and case windows need not be dispensed with because of problems with draughtproofing as there are proprietary systems available which will achieve improved performance, without loss of appearance.

Double glazing may be used where it can be demonstrated that there will be no loss of serviceable historic materials and where the new windows will match the original as closely as possible. This is likely to be applicable where original windows have been replaced or significantly altered.

The introduction of the usual form of trickle vents to window sashes will be resisted.

All historic window ironmongery should be preserved and reused in any replacement windows.



Historic Glass

Historic glass should be retained. If the glass suffers minor cracking it is preferable to retain and repair rather than remove it. Historic glass should always be protected against damage during the course of repair works, and where multi-paned windows are restored the glass should be Crown glass. Glazing should always be bedded and pointed up in traditional linseed oil putty, which should be painted, and not left undecorated, or stained.

Doors and Fanlights

Traditional doors, frames and fanlights and painted lettering or numbers to fanlights should be retained. The substitution of original doors, frames and glazing by modern alternatives will not be permitted. Consideration should be given always to reinstating known earlier doors where these have been lost, particularly where this may be desirable for restoring symmetry with adjoining properties.

All traditional ironmongery should be retained, and where this has been lost consideration should be given always to replacement in patterns that are historically accurate. Paint colours are always important where applied to doors that are visible at street level.

Unless it can be established that there were alternative historic finishes, doors, and their replacements, should normally be painted or varnished. Traditional finishes, such as wood-graining, should be preserved. Original decorative finishes should always be matched in any replacement work. Modern timber stains or clear varnishing should not be used.

Door Thresholds and Ironmongery

Original stone slabs and polished steps at door thresholds should be retained, and if repairs are required new stone should be carefully indented. Bootscrapers, together with Victorian encaustic tile floors to lobbies, should be preserved in situ and in the case of the latter replacement tiles acquired where the originals may be lost or damaged.



7. PORCHES AND CONSERVATORIES

Original porches, porch canopies, and traditional conservatories of painted timber will be retained. Repairs should be carried out in matching material and surfaces should only be decorated where they were so treated previously. The erection of new porches or conservatories of modern materials such as PVC or aluminium will not be permitted where these appear on any elevation visible to the street.

8. SHOPFRONTS

Traditional Shopfronts

Historic shopfronts, together with their doors and associated fittings, make an important contribution to the streetscape, and should be preserved. The replacement of any part of historic shopfronts when upgrading will only be permitted where it can reasonably be demonstrated that retention is not possible at reasonable cost. Original doors and ironmongery should be preserved and repaired in preference to replacement with proprietary units or systems. Where traditional shopfronts have been replaced consideration should be given to reinstating earlier known examples in order to improve the overall quality of the townscape.

Cast iron columns supporting upper storeys, or masonry piers between shop windows and doors, should always be preserved without alteration. Their removal will only be permitted where it can be demonstrated that they are incapable of providing the necessary support and suitable replacement(s) cannot be sourced.

Where walls of stone or smooth render at street level have been painted historically the finish should be retained, but there will be a presumption against decorating wall surfaces that had been unpainted previously.

The use of roller shutters of any kind will not be acceptable. Security glass should be considered in preference to fitting external or internal grilles. Where it can be demonstrated that grilles require to be fitted they should not be industrial in appearance and their design should be appropriate to maintaining the character of the Conservation Area. They should also be designed to be readily removable.

'Blind' windows to shopfronts through the application of opaque advertising films will not be permitted.



Shop signage

All smooth rendered or traditional shop fascia boards should be retained and repaired, and there will be a presumption towards hand-painted lettering or applied as individual letters in appropriate styles and sizes provided that these are non-reflective. Lettering should not dominate the shopfronts nor the facades of buildings. Lettering and its colour should relate with the remainder of the shopfront to ensure a sense of unity to the façade. Where individual letters are applied to buildings fixings should be non-ferrous and where the wall is of stone, fixed only into the masonry joints. When signs are replaced consideration should always be given to restoring earlier patterns of signs in accordance with these principles.

Boxed signs projecting from wall planes, or internally illuminated signs will not be acceptable. Projecting signs into the carriageway should not be prominent when viewed as part of the overall streetscape. Where there is a presumed need to illuminate signs luminaries should be fixed individually, should not be prominent, nor result in light pollution. There will be a presumption against continuous striplights, neon or fluorescent lights. Guidance on shop signage will apply equally to corporate images or logos. Projecting canopies or awnings must be of a design and of materials appropriate to the character of the shop or street. There will be a presumption against those with rounded profiles or ends, and applied lettering should not appear to be dominant.

9. BOUNDARY WALL TREATMENTS

Boundary walls

Early walls of rubble stonework should be preserved and repaired with matching material where collapsed, or where the profile has been broken. Demolition of historic boundary walls of mass concrete, will only be permitted in exceptional circumstances where it can be demonstrated that the wall/walls unreasonably inhibit the use of a site and there is no alternative to complete removal. All walls should otherwise be repaired and left structurally sound. This presumption will extend also to boundary walls of concrete or other materials, coated in historic renders or harling. Where walls have been coated in modern decorative renders consideration should be given always to removing them and restoring earlier finishes. Boundary walls should only be painted where decorated previously.



Consideration should be given to replacing low grade dwarf walls of modern materials or timber rails where they occur with new walls that define the spaces they enclose and street boundaries.

Railings and gates

Cast iron work should be retained and where necessary repaired, prepared for decoration and painted by skilled tradesmen. Lost detail should always be replaced.

Traditionally decorative metalwork would have been primarily of dark colours, and while black is often used it may not be satisfactory where loss of visual detail results. Equally, railings painted bright white, or in light neutral colours are less satisfactory than those painted in more assertive colours.

10. TREES

There will be a presumption against felling trees with a reasonable life expectancy providing they are not dangerous or likely to cause major structural damage. Works such as lopping or topping should be kept to a minimum consistent with the health of the tree. Where trees have been lost replacement trees of a suitable species should be planted.

B NEW DEVELOPMENT WITHIN THE CONSERVATION AREA

Development of new separate dwellings in the curtilage of existing residential properties in the Predominantly Residential Area will not normally be acceptable. Where it can be demonstrated that the insertion of a dwelling house into garden ground can be justified without detriment to the surrounding area, the scale of any new building should be generally smaller than the original villa or dwelling which should continue to dominate the streetscape and the associated garden ground. Existing mature trees should be retained but where this may not be possible, appropriate replanting shall be undertaken to maintain the existing qualities of the Conservation Area.

Extensions to dwellings

Extensions to existing properties shall be subservient in scale and in volume to the original structure, and where extensions are proposed to the gable of a property the roof ridge should be lower than the main roof ridge and the symmetry of the front elevation should always be observed.



Freestanding structures within residential plots

Garages positioned on, or close to street boundaries, sheds, or other freestanding structures larger than 8 sq.m in floor area where occurring within residential plots shall be positioned to have least impact on the Conservation Area, and should not contribute to the over-development of the site.

Temporary structures which have a floor area no greater than 8 sq.m – such as garden sheds will not have restrictions to external wall and roofing materials, but colours should be dark, and non-reflective.

Alterations to property boundaries

The demolition (partially or wholly) of the traditional shingle constructed concrete walls or the insertion of vehicle hardstanding where this breaks existing boundaries and the street line will be resisted.

Satellite dishes, TV aerials and surface wiring

There is a presumption against such fixtures appearing on any elevations (including gables) that are visible from the street.

Security Equipment

Security alarms shall be sited in such a position so as to minimise impact on the street elevation of any property. All surface wiring should be avoided.

Miscellaneous

Extractor fan terminals fitted to window glass, or appearing on the walls of any elevation visible from the street will not be acceptable. Terminals should appear only on the reverse slopes of roofs, provided that they are not highly visible from surrounding streets.

Freestanding proprietary metal flues, particularly in prominent locations open to general public view will not be acceptable.



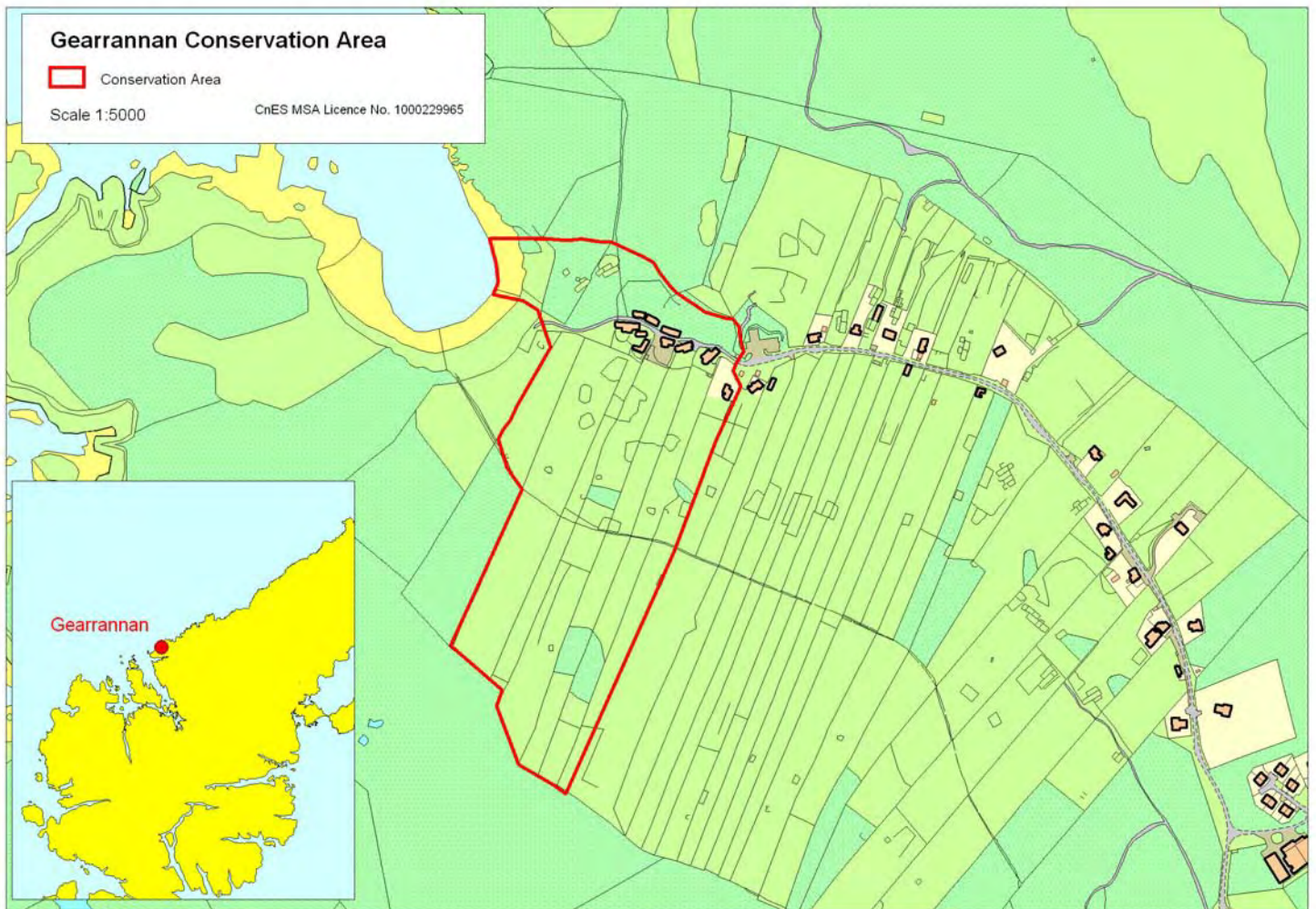
GEARRANNAN CONSERVATION AREA MANAGEMENT

A. RESTORATION / RENOVATION OF EXISTING BUILDINGS

1. ROOFS AND ROOF ELEMENTS

Roofs

Ideally thatch will be laid on an under course of turves, avoiding, if possible, modern materials such as bitumen felt, although such materials may have been used before when they became readily available. The thatching material itself should be laid in the prevalent randomly loose scattered form and should not be laid in elaborate, decorative form. The thatch should be secured with netting, old fishing nets being typical, and held in place by suspended stones on the finished roping. Sometimes thatching ropes were held down with large timbers and this method cannot be ruled out.





Thatching materials themselves should be Bere (Barley straw) or equivalent and no other material. In keeping with the requirement of LDP Policy NBH4 Built Heritage (Thatched Buildings) it is expected that thatching materials should be sourced locally (i.e. from within Outer Hebrides).

The use of imported material from outwith the Outer Hebrides will only be permitted where all the following can be demonstrated:

- a) there is no readily available appropriate material locally, nor is there any reasonable prospect that such material will become available within the duration of the project;
- b) the imported material is the closest available match to what might be expected to be available locally were there an appropriate local source;
- c) the material to be used is appropriate to the climatic conditions of the Outer Hebrides and can be expected to have a reasonable lifespan under normal circumstances.

Note: Thatched buildings refer to traditional local vernacular buildings likely to have been constructed pre 1960.

Chimneys

Chimneys should be retained and repaired to match, as closely as possible the original construction and appearance, unless it can be demonstrated that the chimney was not part of the original listed building. The use of modern proprietary chimney fixtures such as cowls should be avoided.

2. RAINWATER GOODS

The introduction of modern rainwater goods to the existing Blackhouse buildings will not be permitted in any form.

3. WALLS

External walls should be constructed in random rubble originating from the locality and should not be pointed in Portland cement or lime mortar or rendered in any way. Nor should walls be painted with proprietary modern external paint products. The external wall should be left to weather naturally.



4. DOORS AND WINDOWS

Doors

All doors should be simple plain faced planked timber doors avoiding extraneous modern decoration or inserts. They should always be painted thus avoiding the use of varnish or modern woodstains. The use of PVCu or other modern alternatives will not be permitted. All door ironmongery should be as unobtrusive as possible.

Windows

Windows should be repaired and retained wherever possible rather than replacing them. All new windows should be of timber utilising the existing fenestration pattern except where it can be demonstrated that another pattern is more historically accurate. They should always be painted and never finished in varnish or proprietary modern woodstains. The use of PVCu or other modern alternatives will not be permitted.

5. COLLAPSED/DERELICT STRUCTURES

The reconstruction/re-use of these structures will not be permitted unless the developer can demonstrate full historical accuracy in terms of building practices and proposed use. It will also have to be demonstrated that the re-use is fully related to and necessary to the continued use and/or maintenance of the existing listed properties.

B. NEW DEVELOPMENT WITHIN THE CONSERVATION AREA

New development within the Conservation Area will generally be resisted unless it is directly related to and necessary to the continued use and/or maintenance of the existing listed properties.

1. EXTENSIONS

Extensions will only be permitted if:

- a) they do not have a detrimental effect on the historic character of the building or its setting, or of any of the features for which it was listed; and
- b) they are sympathetic to the listed building in terms of scale, proportion, design, materials and construction.



2. EXTERNAL WORKS

Modern agricultural buildings should be avoided, particularly in close proximity to listed buildings, and where they would be prominent in views out of the settlement. Modern fencing/boundary demarcation should also be avoided; the use of dry stone walling will be encouraged, though the rebuilding of collapsed/partially collapsed walls should be avoided unless historical accuracy can be assured and is deemed necessary for the management of the village.

The introduction of modern surfacing materials and infrastructure i.e. road/path surfacing, street lighting columns will not be permitted. Where some degree of external lighting is deemed necessary for public safety this should be provided as discreetly as possible avoiding intrusive ground fittings or prominent fixtures to the main external face of a building.

Where infrastructure is required in the interests of public safety this should be sited as discreetly as possible without compromising the purpose of the infrastructure.

3. SIGNAGE

Signage should be kept to the minimum necessary for its purpose. Size and colours should avoid being overly intrusive. Non-essential signage, requiring express consent, will not be permitted.

4. RENEWABLE ENERGY

Within the Conservation Area the use of ground source heat pumps will be acceptable. Air source heat pumps should be sited and screened sensitively to reduce the visual impact of the unit.

The use of solar panels or photovoltaic cells will not be acceptable on the roof of thatched properties in line with LDP Policy NBH4 Built Heritage (Thatched Buildings). The use of ground based panels, unless discreetly sited, will generally be resisted.

The siting of wind turbines within the Conservation Area is likely to have a detrimental effect on the setting of the Conservation Area and therefore will be resisted. Any application received for wind turbines adjacent to but outwith the Conservation Area will be assessed against the impact on the setting of the Conservation Area.



RUISGARRY CONSERVATION AREA MANAGEMENT PLAN

A. RESTORATION / RENOVATION OF EXISTING BUILDINGS

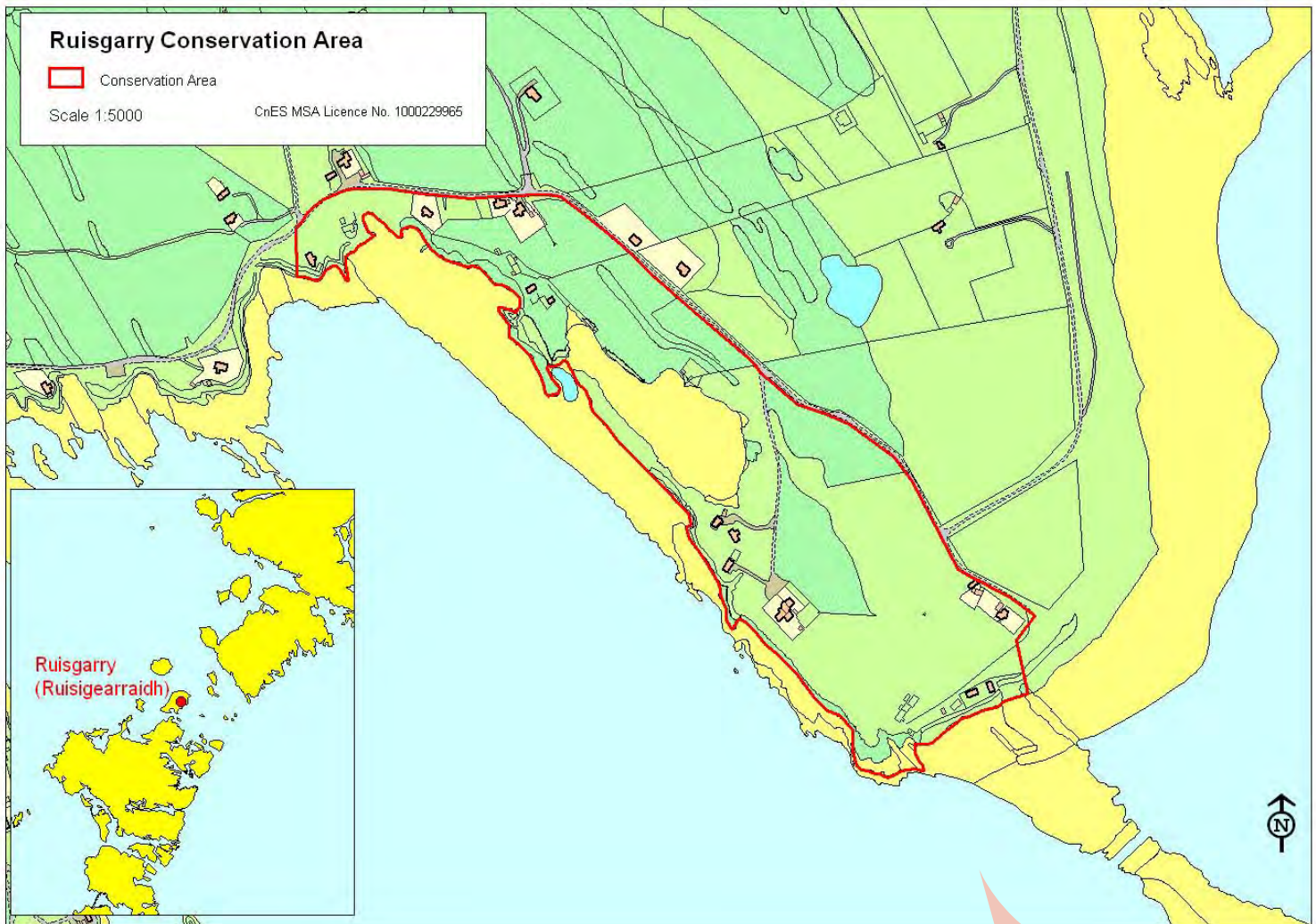
1. ROOFS

Thatched properties

All proposals must comply with the requirements of LDP Policy NBH4 Built Heritage (Thatched Buildings)*.

All buildings will be expected to be thatched with Murran, which is typical to Berneray. Thatching materials are to be sourced locally (i.e. Outer Hebrides) in accordance with LDP Policy NBH4 Built Heritage (Thatched Buildings).

* Thatched buildings refer to traditional local vernacular buildings likely to have been constructed pre 1960.





All thatched roofs are to follow local construction principles:-

- a) thatch will be laid to the local traditional pattern;
- b) thatch is to be taken to the inner wallhead;
- c) the outer wallhead shall be capped in clay or approved suitable alternative;
- d) the use of felt will not be acceptable. The use of a breathable membrane and/or sarking** boards will be permissible;
- e) the use of roof/sky lights is to be avoided.

Any extension to a thatched property shall be roofed in an appropriate alternative material in line with local tradition and general conservation policy. The material used should be sympathetic to the building and the Conservation Area.

** Sarking is defined as individual boards (not sheet or foil covered materials) - a minimum of 5 mm between boards is advised

Non thatched properties

Repairs to the roofs of non thatched buildings shall be in matching materials. Where it is proposed to completely re-roof an existing building the following principles will apply:-

- a) where it is an existing slate roof as much of the original slate as possible should be recovered and re-used on the public facing/ prominent roof plane and a closely matching replacement slate used on other planes;
- b) in all other cases where materials are not recoverable replacement materials should match the existing as closely as possible unless the existing materials are a substitute for an earlier original roof covering where every opportunity should be taken to return the covering to the original material.

2. CHIMNEYS

Existing chimneys should be retained and repaired like for like in situ. Where it is necessary to replace a chimney, materials which match the original construction (where this is evident) should be used. It will not be acceptable to replace chimney stacks with modern flues.



3. WALLS

Where walls require to be repaired this should be carried out using random rubble to match the existing. The use of modern Portland cement must be avoided and lime mortar used when necessary. The use of flush pointing on the exterior face should also be avoided leaving only the bedding mortar showing. The use of render of any form will not be permitted.

Where it is possible any concrete pointing on thatched properties shall be removed and replaced with lime mortar. If the property is to be white washed, the paint shall be compatible with historic fabric, and should not be impermeable masonry paint. Earlier surfaces, such as lime harling, should be coated only in limewash.

If applying colour to non thatched properties, the preference shall be for off-white or stone colour. The use of other colours shall be resisted.

In the case of later buildings where a variety of external finishes have been used repairs should be carried out to match existing materials. Where it is proposed to completely replace or add a new render to a building the use of dry dash finishes should be avoided.

4. WINDOWS AND DOORS

Windows should be repaired and retained wherever possible rather than replacing them. All new windows should be of timber utilising the existing fenestration pattern except where it can be demonstrated that another pattern is more historically accurate. They should always be painted and never finished in varnish or proprietary modern woodstains. The use of PVCu or other modern alternatives will not be permitted. Where existing PVCu windows are to be replaced replacement with PVCu will be discouraged and the use of timber replacements encouraged.

5. EXTENSIONS (NON THATCHED BUILDINGS)

Extensions will be subservient in scale and volume to the original building on which they are to be placed and will not detract from the original architectural composition.

New extensions to non thatched properties will reflect the style and appearance of the buildings in terms of matching materials, scale and detailed design.



6. EXTENSIONS (THATCHED BUILDINGS)

Materials used on extensions to thatched properties should be sympathetic in scale and details and enhance the Conservation Area. However, the scale and style of windows and doors shall match the existing property.

7. CONSERVATORIES

The erection of conservatories of modern materials such as PVC or aluminium will not be permitted where these appear on any elevation visible to the road.

Where conservatories are acceptable in principle the use of materials shall not detract from the main buildings.

The base wall (the wall between the outside ground level and the underside of the window sills) should be built of the same material as the walls of the structure to which the conservatory is attached and finished to match.

B. NEW DEVELOPMENT WITHIN THE CONSERVATION AREA

Development should be limited to 1 or 1½ storeys in height as characterised by existing development. Development 2 storeys or greater in height will not be acceptable.

1. OUTBUILDINGS

Within the curtilage of non-thatched properties

Garages, sheds or other free standing structures larger than 8m² positioned on or close to street boundaries shall be positioned to have least impact on the Conservation Area and shall not contribute to over-development of the site. Such structures should be built using external materials to closely match those of the existing property. They should have a similar roof pitch to the house and where the garage doors are visible from the street, the doors shall be timber. The use of roller shutter doors will not be acceptable.

Where the structures are temporary and less than 8m², (for example garden sheds) there will be no restrictions to external wall and roofing materials or colours but they should be non-reflective and take account of existing outbuildings within the Conservation Area.





Within the curtilage of thatched properties

Outbuildings shall be subservient to the property and not affect the setting of the thatched building. External materials need not match the thatched property but should be similar to those used on any extension to the property and complement the original building.

2. RENEWABLE ENERGY

Within the Conservation Area the use of ground source heat pumps will be acceptable. Air source heat pumps should be sited and screened sensitively to reduce the impact on neighbouring properties and the visual impact of the unit.

The use of solar panels or photovoltaic cells will not be acceptable on the roof of thatched properties in line with LDP Policy NBH4 Built Heritage (Thatched Buildings). For non thatched properties they shall not be sited on the principal elevation and it is preferable to mount photovoltaic modules as panels over existing slates. The use of ground based panels, unless discreetly sited, will generally be resisted.

The siting of wind turbines within the Conservation Area is likely to have a detrimental effect on the setting of the Conservation Area and therefore will be resisted. Any application received for wind turbines adjacent to but outwith the Conservation Area will be assessed against the impact on the setting of the Conservation Area.

3. AGRICULTURAL BUILDINGS

New agricultural buildings in the Conservation Area will not generally be permitted. Proposals for new buildings in the Conservation Area will have to be accompanied by a justification for their siting. New agricultural buildings will be assessed on their size, scale and location in relation to their existing context. Buildings should be as small a scale as possible and discreetly sited so as to minimise impact on the Conservation Area. Where buildings are to be constructed using profiled sheeting, colours should be muted.



4. SIGNS AND ADVERTISEMENTS

All new signage shall be kept to a minimum appropriate to the rural setting. Advertisements will only be permitted where they have no adverse impact on any of the following:

- a) the character or appearance of the landscape or the built environment (through impact on historic, architectural, archaeological or cultural interests); or
- b) public safety, by reason of location, size, materials, colour, design or illumination.

5. BOUNDARY WALLS

Where possible external boundary walls should be constructed in local random stone to the pattern prevalent in the locality. The walls should be of dry-stone construction avoiding the use of mortar of any kind.



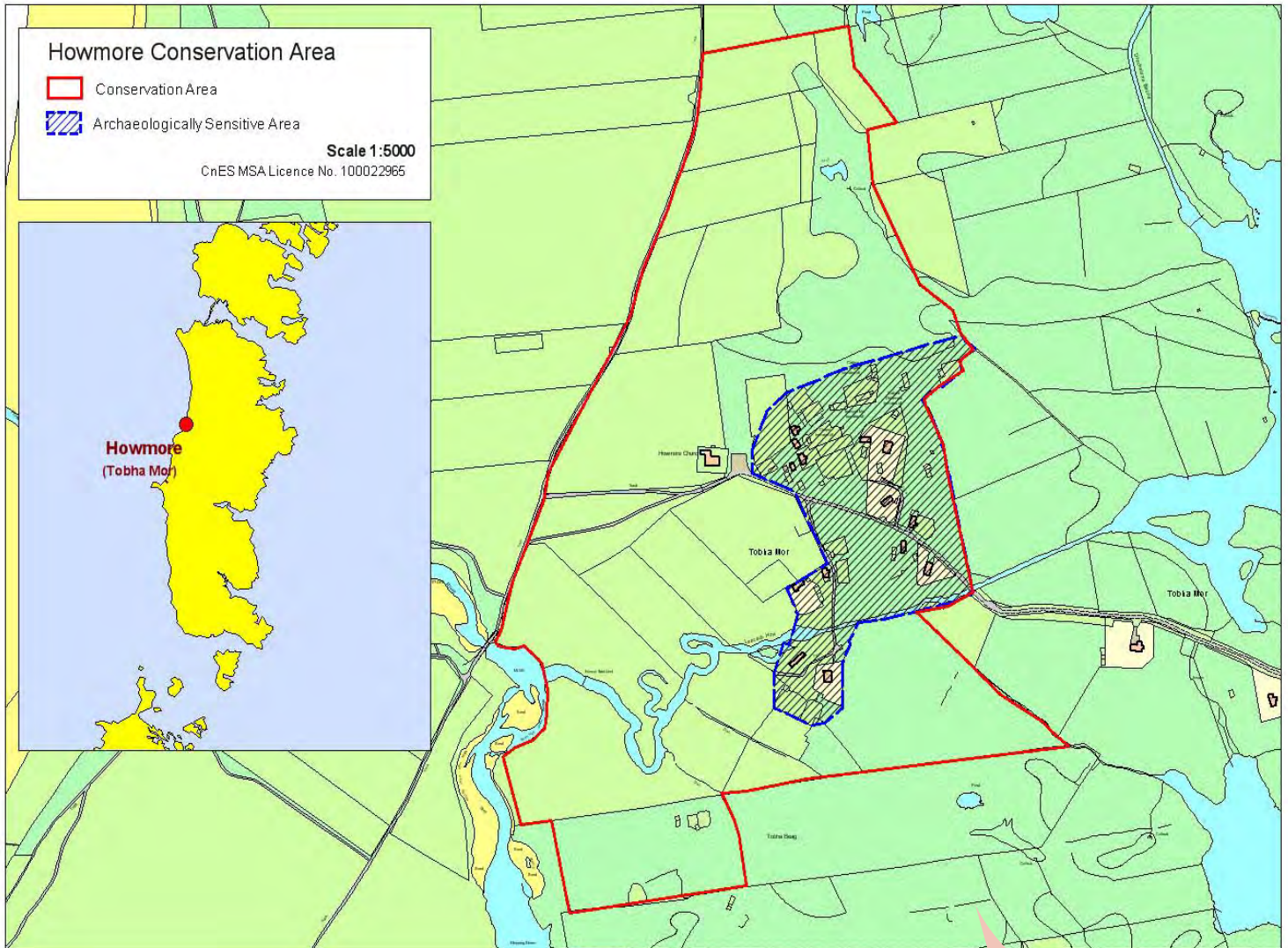
HOWMORE CONSERVATION AREA MANAGEMENT PLAN

A. RESTORATION / RENOVATION OF EXISTING BUILDINGS

1. ROOFS

All buildings will be expected to be thatched with Murran, which appears to be prevalent historically in Howmore, unless it can be demonstrated beyond reasonable doubt that this would be inappropriate in any individual case. Heather may be considered a reasonable alternative. Thatching materials are to be sourced locally in accordance with LDP Policy NBH4: Built Heritage (Thatched Buildings*).

* Thatched buildings refer to traditional local vernacular buildings likely to have been constructed pre 1960





All thatched roofs are to follow local construction principles:-

- a) thatch will be laid to the local traditional pattern;
- b) thatch is to be taken to the outer wallhead;
- c) the use of felt will not be acceptable. The use of a breathable membrane and/or sarking** boards will be permissible;
- d) the use of roof/sky lights is to be avoided.

Any extension to a thatched property shall be roofed in an appropriate alternative material in line with local tradition and with general conservation policy. The material used should be sympathetic to the building and the Conservation Area.

** Sarking is defined as individual boards (not sheet or foil covered materials) - a minimum of 5 mm between boards is advised.

Non Thatched Buildings

Repairs to the roofs of non thatched buildings shall be in matching materials. Where it is proposed to completely re-roof an existing building the following principles will apply:-

- a) where it is an existing slate roof as much of the original slate as possible should be recovered and re-used on the public facing/ prominent roof plane and a closely matching replacement slate used on other planes;
- b) in all other cases where materials are not recoverable replacement materials should match the existing as closely as possible unless the existing materials are a substitute for an earlier original roof covering in which case every opportunity should be taken to return the covering to the original material.

2. CHIMNEYS

As far as possible existing chimneys should be retained and repaired like for like in situ. Where it is necessary to replace a chimney materials which match the original construction (where this is evident) should be used. It will not be acceptable to replace chimney stacks with modern flues.



3. WALLS

Where walls require to be repaired this should be carried out using random rubble to match the existing. The use of modern Portland cement must be avoided and lime mortar used where required. The use of flush pointing on the exterior face will be acceptable. The use of render of any form will not be permitted.

Where it is possible any concrete pointing on thatched properties shall be removed and replaced with lime mortar. If the property is to be white washed, the paint shall be compatible with the historic fabric and should not be impermeable masonry paint. Earlier surfaces, such as lime harling, should be coated only in limewash.

If applying colour to non thatched properties, the preference shall be for off-white or stone colour. The use of other colours shall be resisted.

4. WINDOWS AND DOORS

Windows should be repaired and retained wherever possible rather than replacing them. All new windows should be of timber utilising the existing fenestration pattern except where it can be demonstrated that another pattern is more historically accurate. They should always be painted and not finished in varnish or proprietary modern woodstains. The use of PVCu or other modern alternatives will not be permitted. Where existing PVCu windows are to be replaced, replacement with PVCu will be discouraged and the use of timber replacements encouraged.

B. NEW DEVELOPMENT WITHIN THE CONSERVATION AREA

Development should be limited to 1 or 1½ storeys in height as characterised by existing development. Development 2 storeys or greater in height will not be acceptable.

Within the area highlighted on the plan as being archaeologically sensitive, new development may require an archaeological pre determination evaluation. Early discussion with the Comhairle's Planning and Archaeology services is advisable.



1. OUTBUILDINGS

Within the curtilage of non-thatched properties

Garages, sheds or other free standing structures larger than 8m² positioned on or close to street boundaries shall be positioned to have least impact on the Conservation Area and shall not contribute to over-development of the site. Such structures should be built using external materials to closely match those of the existing property. They should have a similar roof pitch to the house and where the garage doors are visible from the street, the doors shall be timber. The use of roller shutter doors will not be acceptable.

Where the structures are temporary and less than 8m², for example garden sheds, there will be no restrictions to external wall and roofing materials or colours except that they should be non-reflective and take account of existing outbuildings within the Conservation Area.

Within the curtilage of thatched properties

Outbuildings shall be subservient to the property and not affect the setting of the thatched building. External materials need not match the thatched property but should be similar to those used on any extension to the property and complement the original building.

2. BOUNDARY WALLS

External boundary walls should, where possible be constructed in local random stone to the pattern prevalent in the locality. The walls should be of dry-stone construction avoiding the use of mortar of any kind.

3. RENEWABLE ENERGY

The use of ground source heat pumps will be acceptable. Air source heat pumps should be sited and screened sensitively to reduce the impact on neighbouring properties and the visual impact of the unit.

The use of solar panels or photovoltaic cells will not be acceptable on the roof of thatched properties in line with LDP Policy NBH4 Built Heritage (Thatched Buildings). For non thatched properties they shall not be sited on the principal elevation and it is preferable to mount photovoltaic modules as panels over existing slates. The use of ground based panels, unless discreetly sited, will generally be resisted.



The siting of wind turbines within the Conservation Area is likely to have a detrimental effect on the setting of the Conservation Area and therefore will be resisted. Any application received for wind turbines adjacent to but outwith the Conservation Area will be assessed against the impact on the setting of the Conservation Area.

4. AGRICULTURAL BUILDINGS

Agricultural buildings constructed using galvanized, corrugated steel sheeting are now increasingly rare and shall be retained and repaired in situ wherever possible.

New agricultural buildings in the Conservation Area will generally be resisted. Proposals for new buildings in the Conservation Area will have to be accompanied by a justification for their siting. New agricultural buildings will be assessed on their size, scale and location in relation to their existing context. Buildings should be as small a scale as possible and discreetly sited so as to minimise impact on the Conservation Area. Where buildings are to be constructed using profiled sheeting colours should be muted.

5. SIGNS AND ADVERTISEMENTS

All new signage shall be kept to a minimum appropriate to the rural setting. Advertisements will only be permitted where they have no adverse impact on any of the following:

- a) the character or appearance of the landscape or the built environment (through impact on historic, architectural, archaeological or cultural interests);
- b) public safety, by reason of location, size, materials, colour, design or illumination.



<http://www.cne-siar.gov.uk/planningservice/>

email: planning@cne-siar.gov.uk

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