



# Outer Hebrides Local Development Plan

Supplementary Guidance:

Planning Brief for Blackwater Housing Proposal Site



September 2018

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# Introduction

## Purpose & Format of the Brief

This Planning Brief is presented as non-statutory supplementary guidance as part of the Outer Hebrides Development Plan. The Brief should be read in conjunction with the Outer Hebrides Local Development Plan (OHLDP) and any other relevant supplementary guidance. The guidance will set out the Outer Hebrides Local Development Plan Policies and Proposal and other Development Plan considerations regarding the site.

The purpose of the document is to set out guidance for the development of the Blackwater Proposal Site, a Major housing development at Newmarket on the northern edge of Greater Stornoway. In particular the Brief will be used to:

- Provide a clear guide as to what will be required in the development of the site.
- Ensure constraints are identified and need for mitigation directed.
- Assist the Comhairle in its assessment of planning proposals for this site.
- Assist the achievement of quality placemaking which integrates with the surrounding area.
- Outline the expectations and opportunities for consultation.
- Inform and direct any potential master planning exercise.

This Brief has been formatted around four Place themes: successful and sustainable; natural, resilient; connected; and low carbon. The format used establishes how the proposed development might be structured; how it relates to the surrounding built environment; gives some direction on its layout and elements that should be included within it; and provides some details on the design and finishes of these elements. The Brief also includes guidance for Developers or their agents on the topics that would be

expected to be covered in any Masterplan for the whole, or any part of the site.

## National Policy

Scottish Planning Policy (SPP) emphasizes the importance of placemaking in creating successful and sustainable places which contributes to a sense of belonging and community. The SPP sets out the Scottish Government's six qualities of a successful place: Distinctive; Safe and Pleasant; Easy to Move Around; Welcoming; Adaptable; and Resource Efficient. These qualities have been incorporated into this Brief for Blackwater.

## Outer Hebrides Local Development Plan

OHLDP Policy DP3: Housing states:

*"Planning briefs will be prepared by the Comhairle as Supplementary Guidance for specific housing sites as indicated in the Proposals section of the Plan (extract)."*

In preparation for any development, the OHLDP should be considered in its entirety. The following LDP Policies are especially relevant to this planning brief and the development of the Blackwater Proposal Site:

- DS1: Main Settlement
- DP1: Design Statement
- DP2: Car Parking & Roads Layout
- DP3: Housing
- DP4: Zero and Low Carbon Buildings
- DP5: Open Space
- DP6: Compatibility of Neighbouring Uses
- EI 1: Flooding
- EI 2: Water and Waste Water
- EI 3: Water Environment
- EI 4: Waste Management
- EI 5: Soils
- EI 9: Transport
- NBH2: Natural Heritage

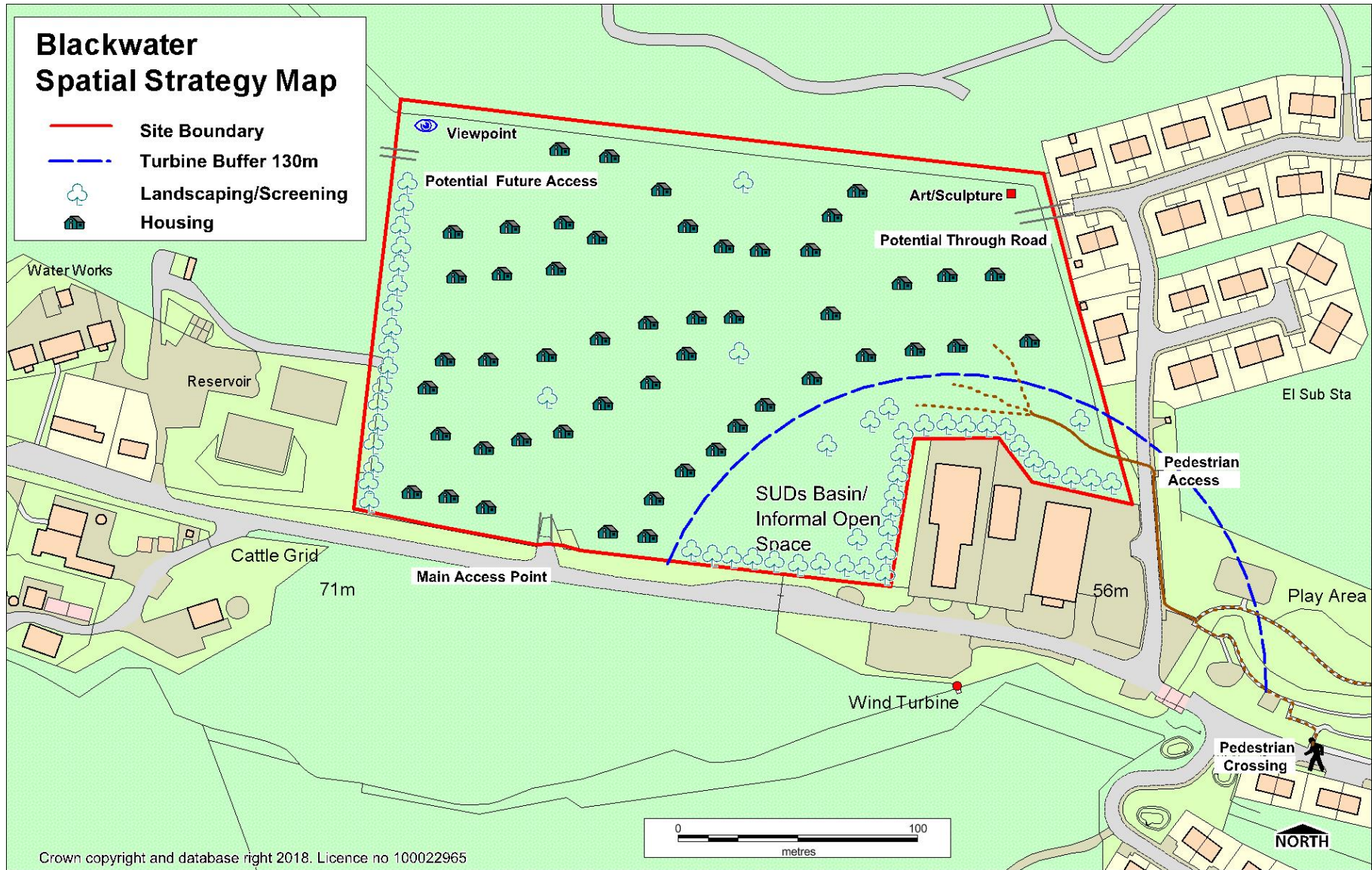


Figure 1 Spatial Strategy

## Spatial Strategy

Spatial Strategies are map based interpretation of policy frameworks and planning guidance. This Spatial Strategy (Figure 1. overleaf) for the Blackwater site provides an indicative layout for the site demonstrating how the requirements set out in the Brief might be accommodated, including aspects of access and egress, amenity buffering, pedestrian routeing etc.

## Site Context, Description and Constraints

### Strategic Context

The site, 4.85ha in size, is identified within the Outer Hebrides Local Development Plan as a Proposal Site for housing, with an indicative capacity of 74 units. The unit number derives from the Housing Needs and Demand Assessment, the Local Development Plan and the objectives in the Local Housing Strategy relating to supply. The Blackwater site presents an opportunity for a phased development over a number of years and could assist with the objective of having developable land available past 2021, in line with the Scottish Government’s developing agenda.

### Physical Context

The Blackwater development site is located on the Northern edge of Greater Stornoway adjacent to the A857 at Newmarket. It is bounded: to the North by the Lewis Peatlands Special Protection Area and Ramsar Site, former domestic peat banks and associated tracks; to the west by a Scottish Water Pumping Pumping station; and to the East by the Gleann Dubh housing development. Industrial units including a construction yard and the A857 lie to the South of the proposed development with open moorland and forestry opposite. The land is currently in crofting tenure, with the landlord; the Stornoway Trust; renting it to a tenant. The release of land for housing and related development appears to be accepted in principle by key parties.



Figure 2 Looking North East towards the site

### Site Description

While the Landscape Character Assessment, places the site within Boggy Moorland, the site has been ‘improved’ and has been used for rough grazing. The land slopes down from the North-West to the South-East, resulting in a significant difference in level between the proposal site and the existing Gleann Dubh development and the A857, which is illustrated in Figure 2 and the topographical survey, Figure 3. The Proposal Site is enclosed on all sides by a standard 1m high post and wire fence.

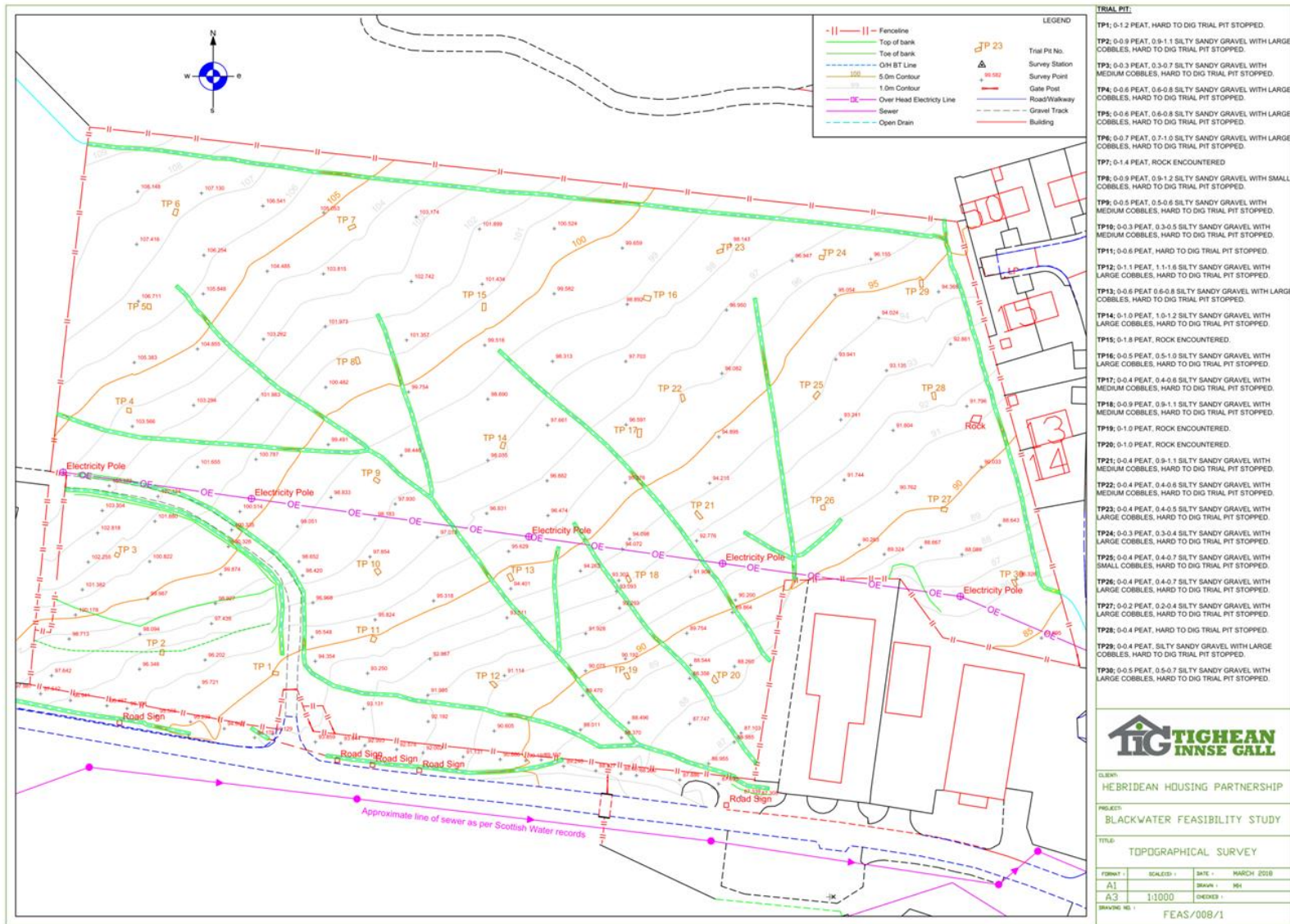


Figure 3 Topographical Survey

### *Site History*

There are no extant consents or current proposals for either the site or the immediate surrounding area.

### *Flooding and Water Bodies*

The Abhainn a' Ghlinne Dhuibh runs to the south of the site, and there is a potential risk of fluvial flooding of the south east of the site, therefore it is logical to locate the Sustainable Urban Drainage System (SuDS) basin in this area, as indicated on the Spatial Strategy.



Figure 4 Abhainn a' Ghlinne Dhuibh

The Local Development Plan (LDP) requires photographs and a topographical survey to accompany a planning application for this site to demonstrate that the proposed site layout avoids the flood plain of Abhainn a' Ghlinne Dhuibh to the south of the site.

A topographical survey has already been undertaken for this site and confirms that the proposed spatial strategy on figure. 1 avoids the flood plain. Therefore, provided the site is developed in line with figure. 1 a Flood Risk Assessment will not be required.

In addition to the above Local Development Plan Policy EI 3: Water Environment requires a development buffer strip between any water body and the proposed development that can be accessed and maintained all year round.

### *Amenity Buffering*

There are water works to the west of the site and industrial units to the south east. There is some existing screening in the form of trees to the west of the industrial units. Additional screening between the development and the units and the water works will be sought, as indicated on the Spatial Strategy. The additional screening should make use of a mixture of evergreen and deciduous planting. This will provide visual, acoustic and amenity buffering.

### *Separation Distance*

An Evance wind turbine is located approximately 50m from the south east corner of the site. The type of turbine requires a separation distance of 130m to the façade of the nearest dwelling. The separation distance can be used for garden grounds and access roads. There is also an area of potential flood risk within this separation area, and therefore it is identified as a SuDs basin / informal open space on the Spatial Strategy. The Comhairle Environmental Health Service have advised that it may be possible that dwellings can be built within this distance providing that it can be demonstrated that acceptable noise levels can be achieved. Early discussion with the Environmental Health Team at the Comhairle is recommended.



Figure 2 Evance turbine and housing site.

### *Designations*

The Lewis Peatlands Special Protection Area and Ramsar Site lie immediately to the North of the Blackwater site. They comprise an extensive area of deep blanket bog, which is important for a range of characteristic peatland breeding birds, especially waders, divers and raptors including golden plover, dunlin and greenshank. A Habitats Regulations Appraisal (HRA) based on more detailed information will have to be carried out by the Comhairle once the masterplan(s) or planning application(s) have been submitted. Prospective developer(s) should seek advice from SNH as early as possible when considering options for the site, to agree what level of ecological survey (for example breeding bird survey(s) may be required to support masterplan(s) or planning application(s) and the Comhairle's HRA.

### *Land Contamination*

The site has previously been used for crofting and there are no known land contamination issues affecting the site. If during construction any contamination becomes evident the developer should bring this to the attention of the Environmental Health Team at the Comhairle.

### *Archaeology*

There are no Archaeological records within the site or the surrounding area, however as the site has not previously been developed, there is potential for unrecorded items of archaeological interest. If at any point during the development of the site, items of potential archaeological interest are uncovered, these should be brought to the immediate attention of the Comhairle Archaeological Service.

### *Electricity*

There is a low voltage overhead line which crosses the site running parallel to the road on the Southern half of the site. These lines will require diverting as part of the development. The developer is advised to contact Scottish and Southern Energy prior to submitting a planning application.



Figure 6 View of site being intersected by overhead line

## **A Successful, Sustainable Place**

### *Site Layout and Development*

Careful consideration will have to be given to the site layout taking into account the topography of the site and the depth of peat. Development of the site should follow the contours and thought should be given to providing taller buildings towards the front of the site, both will optimise views to and from the site.

Land raising and excessive cut and fill to create an expansive platform will not be supported. Terracing that follows the natural

contours should be considered. While the mass of the houses should be broken up by functional open space.

### *Building Design*

Quality of design and creation of attractive distinctive places are central objectives in Scottish Government policy as set out in [Scottish Planning Policy; Creating Places; Designing Streets](#); and [PAN 67 Housing Quality](#). This is reflected in the Outer Hebrides Local Development Plan policies which require an appropriate and acceptable



quality of development, and design that relates to setting. The Siting and Design considerations in the [Outer Hebrides Design Guide](#) provide further information. As the development of the site will be classed as a Major Application, a Design and Access Statement will be required to accompany all development applications on this site.

### *Housing Density*

The Blackwater site, located within Stornoway Main Settlement but out with the Core Boundary, requires a minimum density of 15 units per hectare and a maximum of 30 units per hectare. These densities once an allowance of the site area for the provision of land for services, open space, landscaping or amenity allocated.

### *Tenure Mix*

As far as possible the tenure of housing should not be discernible from its design, appearance and quality. Whilst the LDP sets out policy criteria for achieving mixed tenure within development – 25% affordable for 8 or more units, and an appropriate tenure mix for development of 15 or more units – it allows discretion of tenure mix through an individual site specific development brief. It is anticipated that a significant part of the development of Blackwater will be for affordable housing with potential for some shared ownership elements.

### *House Types*

Future development applications must include a variety of house types and designs to provide flexibility, including homes for families, older people and people with particular needs. In order to help create visual interest, and contribute to quality residential environments, variation in scale, form, height/roofline, orientation and street layout must be incorporated into development applications.

Due to the topography of the site, low rise flatted dwellings may be acceptable, at the south of the site, where they meet LDP design policy. Large sectors of one house type must be avoided. Further guidance is set out in the [Outer Hebrides Design Guide](#).

### *Materials & Finishes*

The use of a variety of materials and finishes contribute to creating quality developments. Developments must utilise a variety of different material finishes. With the exception of roofs, the use of the single material finishes e.g. only single or dual roughcast will not be acceptable across the site, unless windows, doors or other detailing provides sufficient contrast.

### *Sustainability*

The principle of sustainability is already embedded within Planning and Building Standards requirements, and LDP policies. Specifically Policies: DS1: Development Strategy; DP1: Siting and Design; DP4: Zero and Low Carbon Buildings; EI 2 Water and Waste Water; and EI 4 Waste Management provide further detail in relation to maximising sustainability in this type of development. In developing housing and other services at Blackwater developers should seek to optimise sustainability principles, maximising the site's south facing elevation in house, site design and layout, heat and energy, water and waste considerations.

### *Water Supply and Waste Water*

There will be a requirement to connect to the public sewer and Scottish Water has advised that there is capacity for the development to connect to the waste water treatment. A Drainage Impact Assessment is required to be submitted to Scottish Water regarding requirements for wastewater provision at Blackwater.

There is sufficient capacity within the public water supply to serve the development but due to differing site levels there is likely to be a requirement to upgrade the Blackwater pumping station to ensure adequate supply. In addition, protective measures and operations are likely to be required in order to protect supply and underground assets.

Developers should contact Scottish Water when preparing each development application for this site. The result of pre-applications discussions should be submitted as supporting information with any planning application

### ***Waste and Recycling***

The Comhairle provides a regular refuse collection service (4 bins per household: residual; organic; glass; co-mingled recycling). Waste separation and collection make increasing space demands and the implications for individual house design/outside space provision and wider

## **A Natural Resilient Place**

### ***Landscaping & Boundary Treatments***

Landscaping and boundary edge treatments can assist in ensuring new development can blends well into its surroundings. Due to its prominent location at the entry to Stornoway, a quality appearance will be required on key edges, particular along boundary edge with the A857.

The developer will be required to submit a Landscaping Strategy along with any planning application that shows how landscaping will be used to complement existing, proposed and future development. There may be opportunities to incorporate existing features at a landscape scale to allow for and encourage connectivity within the locality.

communal provision within the layout should be considered early in the design stages. At a minimum, screening (e.g. block or wood construction) for all bins should be provided to the side or rear of individual house units. The use of sustainably sourced material is also important.

A Site Waste Management Plan will be required to accompany planning applications for the development of the site. This should address efficient use of resources e.g. recycling materials and minimisation of waste (including during construction).

In line with Policy EI 5: Soils, the proposal will have to demonstrate that unnecessary disturbance of peat and associated vegetation is avoided. A peat survey must be submitted which demonstrates that the areas of deepest peat have been avoided. A peat management plan will be required which demonstrates best practice in the movement storage, management and reinstatement of soils.

Low unobtrusive fencing at the front of house plots to maintain sense of openness is recommended.



**Figure 7 Community Garden in Balivanich**

### ***Open Spaces & Recreation Facilities***

Given the potential housing capacity of the site, it is important to create a sense of place.

This should be achieved by providing open spaces or amenity areas and recreational facilities. These need to reflect both the urban and rural characteristics of the site, and the mixed age profile of potential residents. Open spaces, particularly at the south area of the site can allow the development to be effectively linked with existing amenity areas in the locality.

The provision of open spaces contributes to a pleasant healthy environment in which to live. Recreational facilities do not need to consist of formal play areas which are locally available, however low maintenance facilities could be provided as part of the development. Any open spaces should be incorporated into the development layout in such a way that they are valuable public space in order to prevent un-usable anti-social spaces that are difficult to maintain.

Consideration should be given to the plot layout so that the gardens are either back to back or spaced out sufficiently to create functional open space.

Grow Your Own Areas or allotment gardening offers many health and social benefits and should be incorporated as part of the provision of additional open space facilities. All recreational and open space provision should be detailed in the Landscaping Strategy and submitted as part of all planning applications.

Based on a standard of 60m<sup>2</sup> public open space per dwelling the threshold for such provision is set out below:

Threshold	Threshold Cumulative requirement
Up to 25	Landscaping Area
25-45 houses	1,500 – 2,700m <sup>2</sup> inc. min. 1 play space (unequipped) & min. 1 no. open space with seating
46-75 houses	2,700 – 4,500m <sup>2</sup> inc. min. 1 play space (unequipped) & min. 1 no. open space with seating
+75 houses	Greater than 4,500m <sup>2</sup> (pro rata) inc. min. 1 play space (unequipped) & min. 1 no. open space with seating

### *Viewpoint Feature*

The North West corner of the site is also the highest point and offers views across Broadbay and to the woodland on the opposite site of the valley (see figure 8). A small public space which incorporates a seating area should be provided in this area. The public space should be linked to the rest of the site by the path network.



Figure 8 View looking towards Broadbay

### *Art work*

As a minimum, at the access point between Black Water and Gleann Dubh as shown on the Spatial Strategy map a piece of art work or other feature should be provided to coalesce the two adjoining housing developments. Consideration should also be given to providing art work at the other points of access to site to promote cohesiveness.



Figure 9 Entrance sign to Riverside Gardens

### *Environment and Green Networking*

Not all open space within the proposed development should be formally managed landscaping. Green infrastructure should be incorporated at landscape scale, reflecting and enhancing the character of the local environment, in particular the Special Protection Area. The creation of green infrastructure should create linkages between

habitats, reduce the likelihood of flooding and be integral to the distinctiveness of place by knitting the development in to its rural setting and neighbouring development. This should be detailed in the Landscaping Strategy.

### *Surface Water*

Excess surface water should be led to a soakaway area. Sustainable drainage systems (SuDS) will be required to be incorporated in the development and a suggested area is shown for the Spatial Strategy. When preparing and before submitting each development application, developers should consult the Comhairle regarding suitability of single or groups SuDs schemes in relation to topography, cumulative impact so as not to compromise future phases. Ponds, if properly planned, can be created as an attractive landscape feature as part of SuDS.

### *Grey water collection*

In considering house design and site layout, scope to incorporate grey water collection schemes (e.g. rainfall and rooftop collection/butts) should be investigated and incorporated where feasible.

## **A Connected Place**

### *Access and Site Circulation*

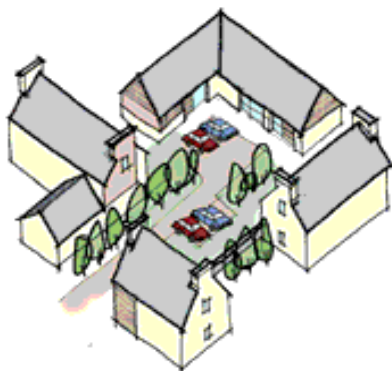


Figure 3 Sample Layout

The proposed design and layout should allow for locally distinctive areas, each with their own identity. Individual houses could be organised in residential clusters as safe and attractive units. While the spatial strategy identifies areas for housing, the Master Plan will identify where the clusters of housing will be sited.



Figure 4 Security awareness in design

The design of the development should seek to minimise opportunities for nuisance and crime with regard to community safety. Layout design, the relation of houses to footpaths/open space, garden enclosure, cul de sac arrangements, materials and planting all have a bearing on security, as illustrated in Figure 11.

Further information on [Secured by Design](#) is available from Police Scotland.

Examples of how design layout can provide local identity; maximise outward views and common space; and introduce segregated pedestrian / car movements are shown in Figure 12.

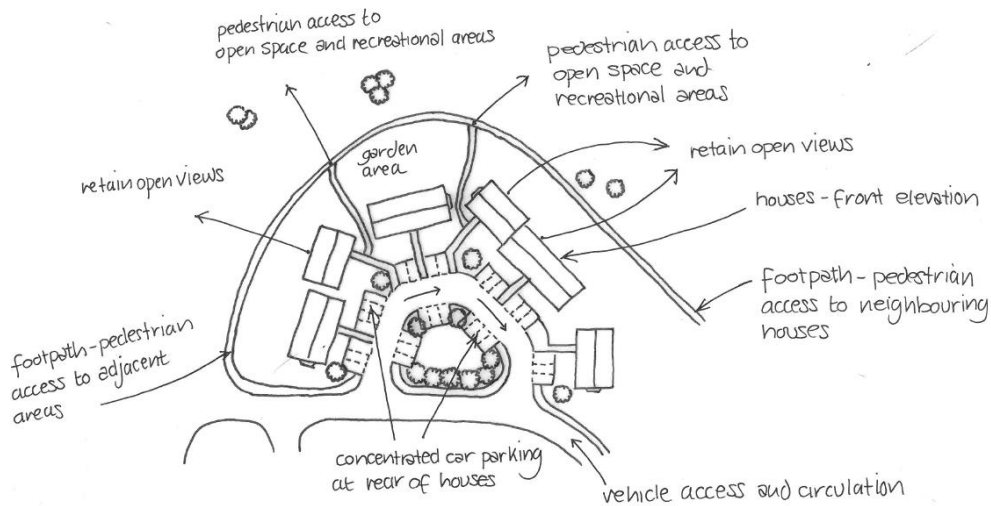


Figure 5 Sample Layout

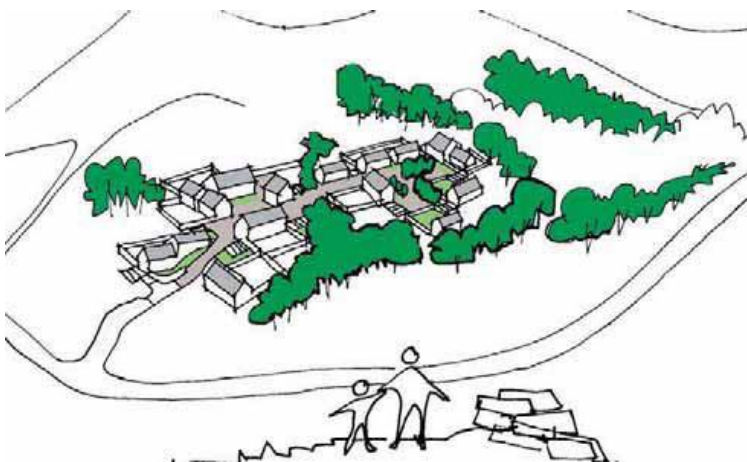


Figure 6 Minimising impacts of Development

The development should seek to achieve cohesive low key development minimising impact on landscape setting by:

- integration with landscape through planting and landscaping
- development divided into different areas
- low key informal groupings

## *Transport*

Developers must provide an assessment and traffic management scheme for each development application designed to satisfy the Comhairle's adoptable standards. Early discussion should be held with the Comhairle's Technical Services Department regarding details and specifications for roads, footpaths and related traffic management provisions, as well as public transport aspects.

## *Roads, Paths and Shared Surfaces*

Road and related traffic management measures should be designed to maximise efficient and safe circulation within and to/from the development as well as minimising the impact of development on the surrounding local communities and existing road users.



Figure 7 Possible road link between Blackwater and Glenn Dubh

The main vehicular access to the site is taken from the A857 at the southern end of the site. For ease of movement it may be possible to link into the existing road at Gleann Dubh. It is expected that the road will have a gradient rather than the development site being lowered to match. The road will be required to be built to the Comhairle's adoptable standards i.e. minimum of 6m wide road with 1.8m kerbed surfaced footpath on either side with streetlights. Minor roads off the main spine will serve the different phases of development and allow for residential clusters within each phase.

Shared surfaces at residential cluster level will be encouraged, subject to consultation with the Comhairle's Technical Services Department. Particular points of concerns are suitable surface treatments and the ability for service vehicles to access all properties. The design and materials proposed for use in the residential clusters should be detailed in applications.



Figure 8 Example of shared surface

### ***Parking***

On street parking can be efficient, reduce vehicle speeds and improve social interaction. On street dedicated or side-of-property parking is encouraged in line with Scottish Government Guidance on designing places.

In line with Comhairle Car Parking Standards, the dedicated parking requirement will be 2 spaces per dwelling house and 1.5 per 1 bedroom dwelling house.

### ***Transport Links***

The adjacent main A857 Stornoway – Barvas road is served by a scheduled bus service. Existing bus stops and laybys are available on both the east and west bound sides of the main road close to the Blackwater site.

Some bus services terminate at the site and the developer should ensure that provision for any future bus service through the site can be accommodated by either, setting aside sufficient land for a bus turning circle off the main access road (to adoptable standards) within or adjacent to the development site at a location set back from the proximity of residential units for safety reasons, or alternatively a connection to the Gleann Dubh development to form a loop road. The developer should engage with the Comhairle’s Technical Services department at an early stage.

### ***Active Travel & Paths***

Provision of facilities for pedestrians, cyclists and other users contribute to a pleasant, healthy environment in which to live. Provision should be made for pathways throughout the site with links to key external facilities, (e.g. existing foot/cycleways and bus routes), including as a minimum the construction of a separate non-vehicular route (an alternative route not concurrent with the proposed vehicular access road) to the main A857. An indicative route for this footpath is shown in the Spatial Strategy.

Provision for storage for cycles is required for flatted developments. These requirements should be set within the context of the open

space provision and other recreational facilities and detailed in the Landscaping Strategy.



**Figure 16: Example of footpath at Riverside Gardens**

### ***Telecoms & Broadband***

It is important that the proposed development takes cognizance of the potential benefits of ICT in helping strengthen the connectivity of the Outer Hebrides. In line with the LDP opportunities for the provision of optimal digital infrastructure to new homes should be explored as an integral part of the Development. The installed infrastructure should be appropriate, universal and future proofed. Early consultation with service providers is recommended.



**Figure 18: Superfast broadband cabinet**

### *Off-site requirements*

Due to the cumulative housing development that has occurred in this area a pedestrian crossing will be required. An indicative location for this crossing is shown on the spatial strategy. The crossing is required to be provided before the first house in the Blackwater scheme is occupied. Discussions

with Technical Services will be required at the earliest opportunity to discuss the precise location of the crossing and any requirement to provide a pavement along the A857 linking Bridge Cottages and Gleann Dubh and the proposed Blackwater scheme.

## **A Low Carbon Place**

### *Energy Efficiency*

Given the high level of fuel poverty in the Outer Hebrides developers should seek to maximise energy efficiency measures, both in site layout and in individual house design. Consideration should be given to the siting, orientation and design of the houses to maximising passive solar gain.

### *Renewable Energy Provision*

In line with LDP policy low and zero carbon generating technologies must be incorporated into the development. A ground source heating system might be possible in conjunction with any open space provision.

Given the close proximity to the Scottish Water Treatment Works, consideration should be given to utilisation of waste heat from the works to facilitate a district heating scheme for part of the development.

Policy PD4: Zero and Low Carbon Buildings requires that new buildings must demonstrate that the carbon dioxide emissions target as required by Scottish Building standards has been met with at least 15% of this target being met through the use of low or zero carbon technology.

If the development is to be served by air source heat pumps, the units should be sited to the rear of house and should not be sited directly outside bedroom windows. It is recommended that only recognised low noise units are installed.

### *Electric car charging points*

In line with the Scottish Governments aim to reduce the number of petrol and diesel cars being sold, consideration should be given to the provision of electric car charging points within the development.



Figure 9 Example of ASHP



Figure 19 EV charging point



## **Implementation**

### ***Cumulative Impact***

Developers will be expected to demonstrate that proposals will not result in unacceptable cumulative impacts. As cumulative issues only arise when the siting of a particular development is known, cumulative impact will be fully evaluated on a case-by-case basis. Assessment of impacts will take into account a wide range of factors covering the natural and built environment, landscape, the visual amenity of the area and the wider socio-economic impacts.

The Comhairle will encourage developers to co-operate over the exchange of information where cumulative assessment has been identified as important and is required in order to make decisions on proposals.

### ***Works During Construction***

To minimise disturbance and reduce impact on existing residents' amenity construction will be limited to the hours of 07.00 – 19.00, Monday to Friday, unless by other agreement with the Comhairle. Developers will be required to ensure that as part of any development phase, designated parking provision (for private and commercial vehicles) is made for contractors, their employees and agents, during construction.

### ***Maintenance of Common Areas***

Developers will be required to maintain to a standard fit for purpose all elements of the development (including open space,

recreation facilities etc) that remains within its ownership or responsibility. If necessary a planning obligation may be applied to ensure this.

### ***Major Application Process***

Under the Hierarchy of Development for housing development the development of the Blackwater site is classed as a Major Application. (Circular 5 2009 <http://www.gov.scot/Publications/2009/07/03153122/0>)

Major applications require a Pre-application consultation. This allows the local community to be better informed and to have an opportunity to comment on the development before the planning application is submitted.

Before pre-application consultation starts, the prospective applicant is required to submit a Proposal of Application Notice to the Planning Authority. The application is required to be accompanied by a Pre-Application Consultation Report, which details the consultation process and a design and access statement.

Information on the Major Application process can be found on the Comhairle web page: <https://www.cne-siar.gov.uk/planning-and-building/planning-service/other-planning-information/major-and-national-developments/>

## **Annex 1: Master Planning**

The definition of what constitutes a Masterplan can vary. Most commonly, it is a plan that describes and maps an overall development concept, including present and future land use, urban design and landscaping, built form, infrastructure, circulation and service provision. It is based upon an understanding of place and it is intended to provide a structured approach to creating a clear and consistent framework for development.

A Masterplan should explain how the site, will be developed, describing and illustrating the proposed urban form in three dimensions. It should show how that form will achieve the intended vision for the place, and how the project will be implemented through a delivery strategy which sets out phasing, timing and funding (source PAN 83 Master Planning, Scottish Government).

The Master Plan should take account of the Blackwater Planning Brief, Supplementary Guidance, and the policies contained within the Outer Hebrides Local Development Plan and in particular will address the relevant points in Policy DP1: Design and Placemaking.

As a minimum a Masterplan document (including for separate ownership and possible different Masterplans for different areas of the site) should include the following:

- Outline timetable for the development of the whole area within the developer's ownership, with a phasing schedule;
- Details of each development stage indicating number of units, open space provision, and infrastructure requirements in line with the requirements of the Planning Brief;
- A site layout indicating proposed housing, open space and recreational facilities, roads layout, access and circulation (pedestrian and vehicular);
- Details of house scale, style and design, including any energy efficiency measures;
- A Landscaping Strategy that includes open space, amenity areas, and recreational provision; treatment of water bodies; boundary edges; and footpath / cycleway routes.

In preparing a Master plan and phasing schedule, developers should note the trigger points at which additional services and facilities (particularly relating to transport and recreation) will be required along with further housing and should ensure these are reflected in the Masterplan.

The text within a Masterplan should be kept short and illustrate the process undertaken to achieve the concept. The document should explain the design philosophy and proposals as well as the role that stakeholders have played in developing the concept.

### ***Engagement and Consultation***

Any and all developers will be encouraged to engage with interested parties including Local Community Groups and relevant Departments within the Comhairle, for example Technical Services and Education and Children's Services.

Early engagement with Scottish Natural Heritage is encouraged to ensure the proposed development(s) do not have an adverse effect on the integrity of the Lewis Peatlands Special Protection Area (SPA) or RAMSAR site.

## **Annex 2: Site Constraints and Summary of Requirements**

### **Constraints**

The following is a list of the site constraints which have been discussed in further detail throughout the brief:

- ❏ Wind turbine - 130m separation buffer
- ❏ Overhead Line
- ❏ Ground conditions – volume of peat on site
- ❏ Topography
- ❏ Flood risk
- ❏ Proximity the Water Treatment Works
- ❏ Linkage to Gleann Dubh

### **Summary of Requirements**

Planning applications for this site, which is classed as a Major development, as a minimum should include the following:

- ❏ Design and Access Statements
- ❏ Drainage Impact Assessment (to Scottish Water)
- ❏ Flood risk data
- ❏ Site Waste Management Plan
- ❏ Peat Management Plan (including Peat Survey)
- ❏ Landscaping Strategy
- ❏ Assessment and Traffic Management Scheme
- ❏ Pre-application Consultation Report
- ❏ Sufficient information to enable the Comhairle to carry out a Habitats Regulations Appraisal for the Lewis Peatlands Special Protection Area.

This is a not a comprehensive list of items and the Planning Services reserves the right request further information in order to determine any development application.

*Disclaimer: Developers must have regard to the contents of this Brief in preparing proposals or masterplans for this site. The Brief is non-statutory supplementary guidance and will be used in the determination of future planning applications for the area. The Comhairle offers no warranty as to the suitability of the site for use proposed. It is the developer to be satisfied as to the ground conditions, availability of services and grants of statutory approvals. This Guidance is given in good faith and does not prejudice the Comhairle's consideration of subsequent planning applications.*